

THE NEW
URBAN CODE
FOR
WOODFORD COUNTY
THE CITY OF VERSAILLES
AND
THE CITY OF MIDWAY

REGULATING PLANS
BUILDING PLACEMENT STANDARDS
ARCHITECTURAL STANDARDS
STREETSCAPE STANDARDS
APPROVAL PROCESS

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PREFACE

Woodford County is a place of exceptional character and quality of life. Its fabric of small towns, villages, and rolling hills present an impressive landscape to visitors and is a source of pride for its residents. In the effort to continue building Woodford County according to its best traditions, its citizens have recognized the need to continue to guide future development. This Code pursues the aspirations of the County's citizens as expressed in the recent *Design for Tomorrow* planning workshops, incorporating the work of previous citizen committees and the mandates of the County's adopted Comprehensive Plan.

These prescriptions encourage an interdependent community through the deliberate strengthening of neighborhoods and public spaces, while providing for a desirable private life for each County resident and property owner. The Code also attempts to reduce the level of uncertainty in the current land use regulations by recommending more objective criteria for the essential elements of design, while allowing greater flexibility in building styles and uses. Overall, it advocates that future growth follow a traditional “town and country” pattern and that it foster healthy public dialogue about that growth.

The following goals adopted in the 1997 Comprehensive Plan for the general development of the County, as echoed in the documents produced by the Woodford County Task Force and County citizens during recent workshops, serve as guidance for this recommended Code:

- ❖ Future land development should be encouraged to be located in centralized compacted patterns rather than decentralized sprawled patterns.
- ❖ Strive to protect recreational, tourist, unique natural areas, and cultural attractions by controlling any development that might harm the surrounding environment of such attractions.
- ❖ Discourage residential development along existing county roads by increasing the road frontage requirement for new land division outside the urban services area and the small community districts.
- ❖ Promote the historic character of Downtown Versailles and Midway through the reuse of old buildings and new construction that accents that character.
- ❖ Support strong, functional neighborhoods through planning and land use regulations designed to encourage the stability of existing neighborhoods.
- ❖ Plan the development of new residential areas around the neighborhood concept by developing new areas as neighborhoods within themselves, or by integrating them into established neighborhoods.
- ❖ Discourage strip commercial activities along major traffic arteries unless specifically designated in the Land Use Plan.
- ❖ Conserve the unique elements of the County's agrarian character, such as the horse farms, in order to promote tourism and its related economic benefits.
- ❖ Support strong, functional small communities through planning and land use regulations, designed to encourage the stability of existing rural settlements.

CHAPTER I

COMPONENTS OF THE CODE

The New Urban Code has five sections: the REGULATING PLANS, the BUILDING PLACEMENT STANDARDS, the ARCHITECTURAL STANDARDS, the STREETScape STANDARDS, and the APPROVAL PROCESS. These five sections work together as guidance for future development of the County, its cities and communities.

A. REGULATING PLANS

REGULATING PLANS are the "master plans" for cities, neighborhoods and villages in the County that provide specific information for the disposition of each property or lot.

The REGULATING PLANS show how each building contributes to the larger neighborhood and town and show the arrangement of the PUBLIC SPACE (STREETS, GREENS, parks, greenbelts, etc.) in relation to private space. For lots in special locations, there may be additional design guidelines. The *Neighborhood* and the *Street* are the key aspects that make small town life such a desirable and extraordinary place to live. Such a plan is devised for the Lexington Street corridor (including downtown Versailles) and the Versailles Center in Versailles discussed during the citizen workshops, and for the SMALL COMMUNITY of Mortonsville as a rural community prototype.

B. BUILDING PLACEMENT STANDARDS

The goal of the BUILDING PLACEMENT STANDARDS is to shape good PUBLIC SPACE (STREETS, CIVIC GREENS, parks, etc.) and healthy outdoor *private space* (yards and gardens). These STANDARDS control the aspects of private buildings that pertain to the PUBLIC SPACE and aim for the minimum level of control necessary to meet that goal.

The BUILDING PLACEMENT STANDARDS set the basic parameters governing building form, including the envelope for building placement (in three dimensions) and certain required/permitted building elements, such as porches, balconies, and fences. They establish both the boundaries within which things *may* be done and specific things that *must* be done. Variances to the BUILDING PLACEMENT STANDARDS can be granted only where the unique physical circumstance of a lot makes compliance impossible (while satisfying the intent of the Standard).

C. ARCHITECTURAL STANDARDS

The goal of the ARCHITECTURAL STANDARDS is a coherent and pleasing architectural character that is appropriate for the region's culture and climate. The ARCHITECTURAL STANDARDS govern a building's architectural elements and set the parameters for materials, configurations, and construction techniques. *Equivalent or better* products than those specified are always encouraged.

D. STREETScape STANDARDS

These Standards set the parameters for the planting and maintenance of STREET TREES on or near each lot. An innovative technique called the GARDEN EASEMENT is also recommended for use as a voluntary agreement in neighborhoods with small lots.

E. APPROVAL PROCESS

The adoption of this Code entails changes to the Zoning Ordinance and the permitting process for individual buildings and multi-lot developments. The Code is intended to be prescriptive rather than proscriptive – it states what is desired instead of what is not wanted – and advocates that development should occur by-right rather than under special conditional approval.

F. HOW TO USE THIS CODE

A “walk” through the Code illustrates its applicability for building a single structure or for designing a development. For both processes, the REGULATING PLAN is the first document to be consulted. From this plan, the pertinent BUILDING PLACEMENT STANDARD is derived and then followed during project design. The ARCHITECTURAL STANDARDS are followed regardless of location or building type, and the STREETScape STANDARDS will differ for changes to existing structures versus new development. Each of these components is examined in tandem as the property owner designs his or her house or development, with the outcome of a design that is mindful of its surroundings.

DEFINITIONS

CHAPTER II

DEFINITIONS

The following definitions are recommended as additions or substitutions to the current list of definitions in the Versailles-Midway-Woodford County Zoning Ordinance and Subdivision Regulations. Certain terms in this document are used in very specific ways, often excluding some of the meanings of common usage. Wherever a word is printed in SMALL CAPITAL LETTERS, it is being used as defined herein.

ALLEY

The passageway along the rear of lots that provides access to garages, carports, utilities and services such as garbage collection. ALLEYS generally have a 20 to 30 foot Right of Way.

ARTISANAL WORKSHOP

Shops of special trade including the manufacturing, compounding, assembling, processing, packaging or similar treatment of such products as: baked goods, candy, ceramics, pottery, china, weaving and other textile arts, painting, cooperage, woodworking, and other artistic endeavors and similar trades. Retail sales of products made on the premises are encouraged.

BACK YARD

The open portion of the lot behind the building or FRONT YARD, including the OPEN SIDE of the lot.

BUILDABLE AREA

The building can be placed only within the BUILDABLE AREA (excepting roof eaves and simple stairs). Note that the BUILDABLE AREA sets the limits of the building footprint now and in the future -- additions must be within the designated area. The BUILDABLE AREA is illustrated in and set by the BUILDING PLACEMENT STANDARDS.

BUILDING PLACEMENT STANDARDS

The BUILDING PLACEMENT STANDARDS establish the basic parameters governing building construction. This includes the envelope for building placement (in 3 dimensions) and certain required/permitted building elements, such as porches, balconies, and fences.

CIVIC GREEN, SQUARE

PUBLIC SPACES located within the city, town or Small Community and its neighborhoods, as designated on the REGULATING PLAN. The CIVIC GREEN is a primarily unpaved, formally configured, small public lawn or park. The SQUARE is generally paved, appropriate to a more highly trafficked area. Both types should be surrounded by canopy STREET TREES. Their dimensions shall be no less than a 1:4 ratio, with a minimum tract dimension of 25 feet on one side. Situated at prominent locations and often dedicated to important events and/or citizens, CIVIC GREENS and SQUARES may contain play equipment but shall not include ball fields and courts.

CLUSTER SYSTEM

A CLUSTER SYSTEM is an on-site sewage disposal system which accepts effluent from the pre-treatment unit of more than one (1) structure or facility and transports the collected effluent through a sewage system to one (1) or more common subsurface soil absorption system(s) of conventional, modified or alternative design.

DEFINITIONS

COMMON ACCESS EASEMENTS

An unobstructed passageway for two or more lots, typically crossing or occupying a portion of more than one lot, that provides access to garages, utilities and services such as garbage collection. Common access easements have a minimum 30 foot width to allow truck/vehicle movement.

COMMON LOT LINES

Lot lines shared by private lots, generally side lot lines, perpendicular to the STREET.

CONSERVATION LINE

A line drawn on private lots that stipulates land uses for the purpose of rural conservation.

END LOT

A lot in which one side lot line is adjacent to the STREET. Where a PRIVACY BUILDING LINE is located on the side adjacent to the STREET, *Privacy Side* restrictions do not apply. Special fencing and landscape requirements may apply (see *Fences and Garden Walls* in Chapter V, *Architectural Standards*).

FRONT PORCH

The ground floor platform attached to the front or STREET side of the main building. Required FRONT PORCHES, as defined in the BUILDING PLACEMENT STANDARDS, must be roofed and enclosed by balustrades (railings) and posts that extend up to the roof and may not be otherwise enclosed except with insect screening.

FRONT YARD

The area of the lot from the STREET FRONTAGE to the enclosed portion of the building wall. This area is contiguous with the STREET and includes the FRONT PORCH and front wall of the building.

FRONT YARD FENCE

The wood picket, wrought iron or masonry fence required along the STREET FRONTAGE of all private lots and along COMMON LOT LINES to at least 10 feet back from the STREET BUILDING LINE.

GARDEN EASEMENT

An easement on the lot area between the PRIVACY BUILDING LINE and the COMMON LOT LINE. The reasonable use, as a garden (with no permanent construction), is granted to the adjacent lot owner. (See *Garden Easements* in the BUILDING PLACEMENT STANDARDS section).

GARDEN WALL

A masonry or iron fence required along the STREET FRONTAGE of all lots. This may take the basic form of a FRONT YARD fence or a PRIVACY FENCE depending on its height and placement.

OPEN SIDE

The side of the house and lot opposite the *Privacy Side* and PRIVACY BUILDING LINE (PBL). There are no window restrictions on the OPEN SIDE, and a minimum SETBACK is used, rather than a REQUIRED BUILDING LINE. The OPEN SIDE of the house has less privacy restrictions because the windows on the adjacent side of the neighboring house are restricted by *Privacy Side Manners*.

PEDESTRIAN PATHWAY

PEDESTRIAN PATHWAYS are interconnecting paved walkways that provide pedestrian passage through blocks running from STREET to STREET. These pathways should not be less than 20 feet in width and should provide an unobstructed view through the block.

DEFINITIONS

PRIVACY BUILDING LINE (PBL)

The PBL is a REQUIRED BUILDING LINE for new lots in subdivisions with a minimum frontage width less than 60 feet. The building must be placed along the PBL, generally 3 feet from one side lot line. Windows are restricted on this side of the building. The PBL is set consistently along a given STREET, allowing houses to open to the other side, toward their side yards. The PBL is further explained in the BUILDING PLACEMENT STANDARDS.

PRIVACY FENCE

Fences and hedges along ALLEYS and COMMON LOT LINES (behind the front wall of the building) may be as high as 8 feet above the adjacent ground. A wire fence (with wooden framework) shall have a hardy species of hedge or climbing vine planted along it.

PUBLIC SPACE

Property (STREETS, ALLEYS, CIVIC GREENS, SQUARES, and parks) within the public domain and physically within a city, town, or Small Community within which citizens may exercise their rights. At its most ideal level, PUBLIC SPACE and public buildings can be characterized as being *of, for, and by the People*.

REGIONAL COMMERCE DISTRICT

The REGIONAL COMMERCE DISTRICT is a district with special standards allowing large-scale retail and commercial buildings to be built, as well as residential and workplace uses, that may attract users from beyond the County limits.

REGULATING PLAN

The REGULATING PLANS are the "master plans" for cities, towns and VILLAGES in the County that provide specific information for the disposition of each property or lot. The REGULATING PLANS specify the BUILDING PLACEMENT STANDARD for each lot and show how each building contributes to the larger neighborhood and town and show the arrangement of the PUBLIC SPACE (STREETS, CIVIC GREENS, parks, greenbelts, etc.) in relation to private space.

REQUIRED BUILDING LINES: PRIVACY BUILDING LINE (PBL) and STREET BUILDING LINE (SBL)

There are two types of REQUIRED BUILDING LINES: PRIVACY BUILDING LINE (PBL) and STREET BUILDING LINE (SBL). These are lines to which a majority of the building footprints must be placed. Exceptions, such as stepped-back wall lines, may be allowed to a limited extent in the middle of the block along the STREET FRONTAGE only (away from the façade corners). See also SETBACK.

SETBACK

This is a line beyond which the building *shall not* extend. The building is not required to extend to this line. For example: a building SETBACK of 8 feet means that the building shall come *no closer* than 8 feet. The SETBACK is the standard technique of conventional zoning. This Code more often uses REQUIRED BUILDING LINES to define the STREET.

SIDEWING

The portion of a building extending along a side lot line toward the ALLEY or garage. This may be built initially or as a later addition. The SIDEWING sits within the BUILDABLE AREA of the lot as shown in the BUILDING PLACEMENT STANDARDS.

SMALL COMMUNITY

Unincorporated settlements of one or more neighborhoods within Woodford County, including and limited to the three designated communities of Mortonsville, Millville and Nonesuch.

DEFINITIONS

STOOP

A ground floor entry platform at the front and/or STREET side of a building. STOOPS, where required by the BUILDING PLACEMENT STANDARDS, may be roofed but they shall not be enclosed.

STREET, STREET FRONTAGE, AND SIDE STREET

1. STREET includes all PUBLIC SPACE (STREETS, CIVIC GREENS, SQUARES, and parks) -- but not ALLEYS.
2. STREET FRONTAGE refers to the lot line that coincides with the greater STREET Right of Way and generally the shorter lot dimension.
3. SIDE STREET is the STREET of the lesser Right of Way, generally with the longer lot line along it.

STREET BUILDING LINE (SBL)

The SBL is the REQUIRED BUILDING LINE (no setback), generally 5 to 20 feet from the STREET FRONTAGE. The building (generally the FRONT PORCH) shall be *built-to* the SBL. The SBL distance from the STREET FRONTAGE for each lot is defined in the BUILDING PLACEMENT STANDARDS.

STREET TREE

A deciduous canopy tree as listed in the Canopy Shade Tree list (see *Chapter VI, Streetscape Standards*). STREET TREES are of a hardy species, large enough to form a canopy with sufficient clear trunk to allow traffic to pass under unimpeded.

STREET TREE ALIGNMENT LINE

A generally straight line that STREET TREES are to be planted along. This alignment is parallel with the STREET and unless specified in the REGULATING PLAN is set 5 feet off the curb-face.

STREETSCAPE

This term refers to the various components that make up the STREET, both in the Right of Way, and on private lot frontages. It includes pavement, parking spaces, planting areas, STREET TREES, streetlights, sidewalks, FRONT YARD FENCES, FRONT YARDS, FRONT PORCHES, etc.

TOWN PLANNER

The TOWN PLANNER administers and enforces this Code for new construction and is empowered to review and approve all construction plans within Versailles, Midway and Woodford County and to recommend revisions to this Code as necessary.

"WHERE CLEARLY VISIBLE FROM THE STREET"

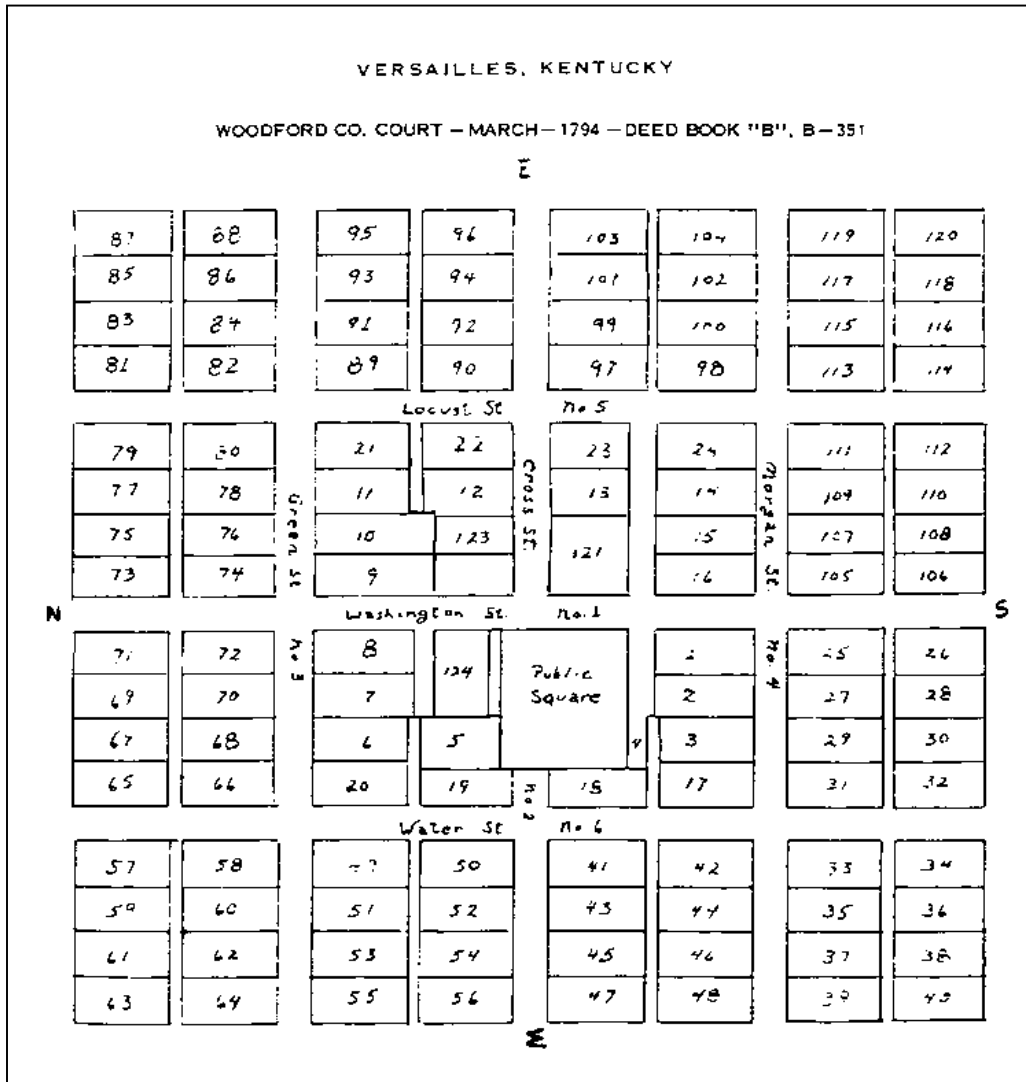
Many requirements of this Code, especially the ARCHITECTURAL STANDARDS, apply *only* where the subject is "clearly visible from the STREET." Note that the definition of STREET includes Parks, CIVIC GREENS, SQUARES, and all public areas except ALLEYS. The intent here is to restrict control to the public realm where it has significance and limit public interference in the private realm.

WORKING COURTYARD

The open portion of the lot behind the building or GARDEN WALL where production, transfer, storage and such work activities may take place. Parking, truck loading docks, etc. are located in the WORKING COURTYARD.

REGULATING PLANS

CHAPTER III
REGULATING PLANS



A place for everything and everything in its place.

Isabella Beeton, *The Book of Household Management*

Lay plans as if we were to be immortal; and we find then that these words do make a genuine difference...

William James

REGULATING PLANS

A. INTRODUCTION

As stated in Chapter One, a REGULATING PLAN is a "master plan" for cities, neighborhoods and villages in the County. It provides specific information for the disposition of each property or lot, and how each relates to its neighborhood and adjacent STREET. Following the *Design For Tomorrow* citizen planning workshops held in May 2000, plans have been produced for the *Small Community* of Mortonsville as a rural community prototype and for the Lexington Street corridor from Downtown to Versailles Center within the City of Versailles.

These first REGULATING PLANS represent the starting point for the eventual conversion of all zoning districts within the County, including the cities of Versailles and Midway. REGULATING PLANS can be created in a number of ways, by public charrette process as initiated by the governing body and in the form of individual development plans designed according to the requirements below.

This section will further explain that development in the County or cities will occur in two basic forms: the enhancement of existing urban places and the formation of new urban places. Even though *Small Communities* are located in rural areas, they are still considered urban in form. The following *General Requirements* outline the basic building blocks for creating urban form.

B. GENERAL REQUIREMENTS FOR NEW REGULATING PLANS

1. The overall goal of these prescriptions is the creation of good neighborhood form. New developments should be created to achieve or contribute to (where they are too small):
 - a) Neighborhoods of 30 to 140 acres
 - b) CIVIC GREENS or SQUARES of 10,000 to 60,000 SF in size and smaller GREENS distributed throughout the Neighborhood so that no lot is further away than a 3-minute walk. GREENS should constitute no less than 4% of the net area of the lots of any subdivision; the central GREEN shall be located within a 350 foot radius of the geometric center of the lots and shall have at least 60% of its PERIMETER abutting a STREET edge.
2. All lots shall share a FRONTAGE LINE with a STREET.
3. The average PERIMETER of all Blocks within a subdivision shall not exceed 1400 feet. Blocks shall be measured at the external/frontage lot lines (along public Rights of Way, other public, agricultural and private lands).
4. All lots and/or all contiguous lots shall be considered to be part of a block for this purpose. No Block face shall have a length greater than 400 feet without an ALLEY, COMMON ACCESS EASEMENT or PEDESTRIAN PATHWAY providing through access to another STREET, ALLEY OR COMMON ACCESS EASEMENT, or permanent open space such as agricultural, or conservation restricted lands.
5. ALLEYS or COMMON ACCESS EASEMENTS shall provide access to the rear of all lots, except where lots are on a PERIMETER common to the countryside (non-developable, agricultural or conservation lands).

REGULATING PLANS

6. Consistent building types of a *similar intensity* shall face across STREETS. Within the following hierarchy of the BUILDING PLACEMENT STANDARDS, adjacent building types are considered to be consistent and may face across a STREET:
 - a. Workplace / Regional Commerce District / Shopfront
 - b. Small Apartment / Row House, Town House
 - c. Neighborhood House / Town House

When separated by an ALLEY (or COMMON ACCESS EASEMENT) and when fronting different STREETS (i.e. a corner lot and its adjacent lot), building types from any category may sit adjacent or alongside one another, but shall not face across a STREET. When separated by a SQUARE, CIVIC GREEN or park, building types from adjacent levels (one level difference) may face one another. For example, types from level “a” may face types from level “b” but not level “c.” Both the *Country House* and the *Avenue House* shall face only their own type across a STREET.

Building types from adjacent levels (one level difference) may share a COMMON LOT LINE and/or sit directly beside one another. For example, types from level “a” may sit beside types from level “b” but not level “c.” Such building type changes shall be consistent on both sides of the STREET and shall not occur more than once per 150 lineal feet of STREET length.

7. On-street parking shall count toward the parking requirement for any lot it directly fronts. Where an on-street space spans more than one lot, it shall count toward whichever lot has a greater percentage of its length. Wherever residential and commercial uses are mixed and /or adjacent, parking requirements may be reduced by 33%.
8. Canopy shade trees shall be planted on all STREETS at a maximum average spacing of 30 feet on center.
9. Street lamps should be installed on both sides of streets at no more than 75 foot intervals measured parallel to the STREET. Street lamps should be between 10 and 14 feet in height. Lighting standards for STREETS and ALLEYS should be developed to meet the minimum standards of the Illumination Engineering Society.
10. Net Lot Area Ratios: Each development should contain certain percentages of each building type:

BUILDING TYPE	MINIMUM	MAXIMUM
Neighborhood House and/or Avenue House	20%	80%
Town House and/or Row House	5%	50%
Small Apartment House	5%	30%
Shopfront and/or Workplace	2%	30%

11. Where subdivision sites are too small to comply with these prescriptions, for example, sites less than 15 acres, the property owner shall demonstrate how a proposed design pursues the intent and goals of these standards. The site shall be considered in relation to its surroundings with the ultimate goal being the construction of whole neighborhoods.

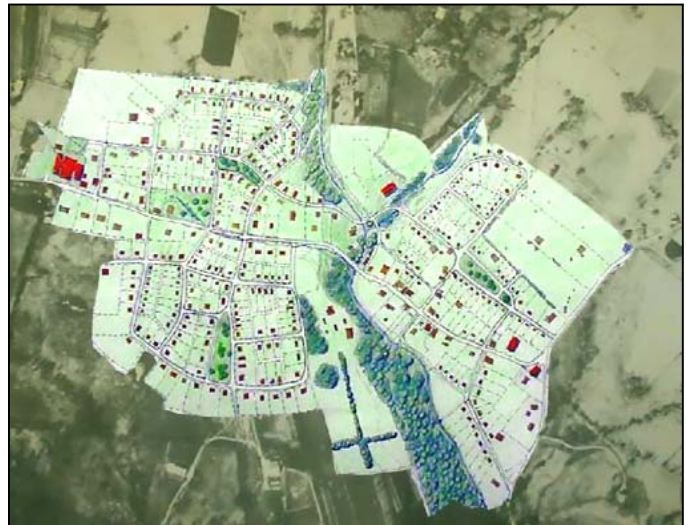
REGULATING PLANS

C. ADDITIONAL STANDARDS FOR RURAL DEVELOPMENT

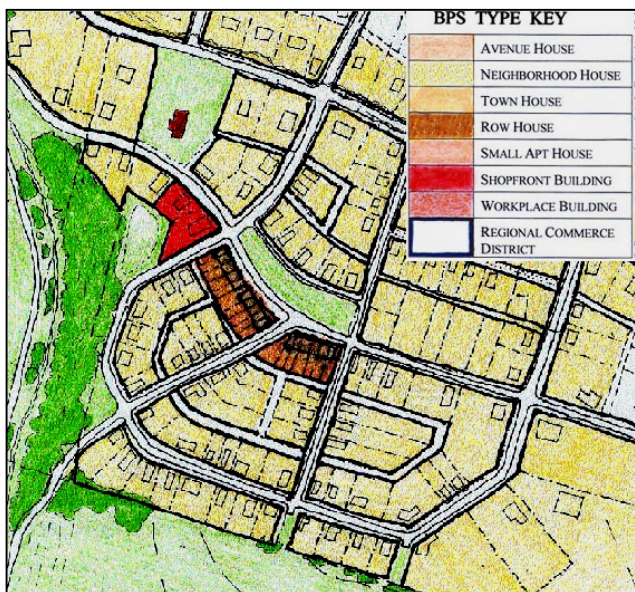
Specifying particular places for growth in the rural areas, like the County’s current *Small Communities* designation, is an excellent model that the County should use for additional areas. Certain places have historically been centers of non-agricultural activity in the countryside, and therefore are suitable for continued community development. This model, rather than the growth of random residential suburbs, will achieve the County’s vision of preserving farmland and rural character. It will also decrease the burden on the County to provide services, thereby reducing the need to raise taxes unduly.

In the three *Small Communities* of Mortonsville, Millville and Nonesuch, it is recommended that REGULATING PLANS be devised by the County in a public process or by one or more landowners wishing to develop these areas, and approved through a public process. The goal is that the historic cores of all three communities should remain the cores, and new development should enhance and build upon the cores.

The plan to the right shows a hypothetical build-out for Mortonsville, developed during the *Design for Tomorrow* public workshops as a prototype. The plan illustrates a projected build-out based on current growth projections to the year 2020. Development may not occur in this exact pattern; it simply illustrates the concept that should be followed as Mortonsville develops over time. Overall, future growth should follow the historical pattern, growing from the center outward, with each new increment of growth concentrated to form neighborhoods with definite edges, mixed housing types, and interconnected streets.



Based on an aerial photograph, this plan illustrates how the general principles may shape Mortonsville over time.



The diagram to the left shows the REGULATING PLAN that is then drawn from the above plan. Each lot is given a designation for a BUILDING PLACEMENT STANDARDS, as the BPS Type Key illustrates.

Possible Regulating Plan for Mortonsville created during the *Design for Tomorrow* Citizens Design Workshop

REGULATING PLANS

However, the SMALL COMMUNITIES and *Rural Residential Cluster Districts* as currently written do not promote this more compact, efficient, and therefore desirable growth. In addition to the General Principles listed on the previous pages, development in the rural areas of the County should follow certain standards to ensure appropriate long-term development that protects and complements active agricultural uses.

Therefore, the additional standards recommended for rural development are as follows:

Growth Areas

1. When growth occurs outside the Urban Service Boundaries of Versailles and Midway, it shall be concentrated within the existing SMALL COMMUNITIES.
2. All SMALL COMMUNITIES shall have defined boundaries in order to concentrate development. The boundaries of the existing SMALL COMMUNITIES of Mortonsville and Nonesuch shall be reduced from a one mile radius to a one half mile radius. The boundary of the existing SMALL COMMUNITY of Millville shall be reduced from one and one-half mile to a one mile radius.
3. New neighborhood STREETS and ALLEYS will be permitted to be built within the reduced radius areas of SMALL COMMUNITIES to accommodate increased densities. STREETS and ALLEYS must meet the street standards as determined by the Planning Commission, and should be interconnected in design.

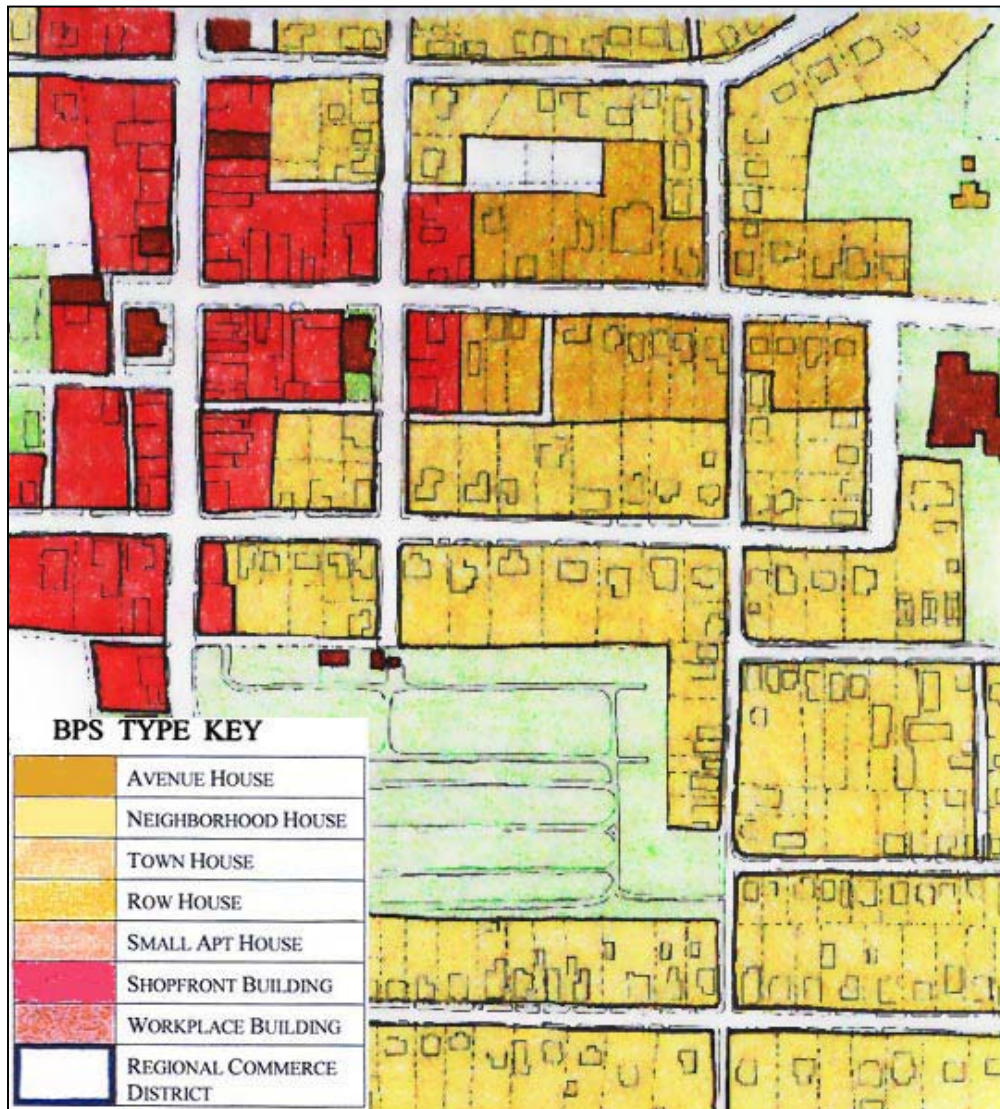
Development Standards

4. A REGULATING PLAN, consistent with the requirements listed above in section B, should be created before the development of two or more lots by any one owner within the prescribed area.
5. BUILDING PLACEMENT STANDARDS for all types except *Country Houses* and the special standards for the *Regional Commerce District* shall be utilized in the SMALL COMMUNITIES.
6. To preserve the rural character and to allow for larger lots on the boundaries of SMALL COMMUNITIES and *Rural Residential Clusters*, a CONSERVATION LINE may be established for appropriate lots on what will likely remain the edge of these areas. The CONSERVATION LINE shall be no further from a STREET or road Right-of-Way than 180 feet. Within this line, the uses regulated by the BUILDING PLACEMENT STANDARDS shall apply. Outside of this line, only agricultural, equestrian and conservation uses are allowed in perpetuity.
7. The minimum lot size is one (1) acre on existing public road frontage (excluding any portions of perimeter lots outside the CONSERVATION LINE) unless public rural sewer districts are established and shared systems are permitted and utilized to accommodate higher densities.
8. Once these sewer districts and disposal standards are established, development must occur according to the urban neighborhood standards of this Code; specifically, the maximum average net lot area shall be 7000 SF (excluding any portions of perimeter lots outside of the CONSERVATION LINE).
9. The ARCHITECTURAL STANDARDS are optional for SMALL COMMUNITIES and *Rural Residential Clusters*, and may be modified by the Planning Commission as appropriate.

REGULATING PLANS

D. VERSAILLES — DOWNTOWN AND LEXINGTON STREET

The REGULATING PLAN below governs the configuration of Blocks, STREETS and SQUARES for the downtown and Lexington Street area within the City of Versailles. This PLAN was designed during the *Design for Tomorrow* public workshops. Each street, including the Lexington Street corridor, is designated with a color that dictates the BUILDING PLACEMENT STANDARD that is allowed for development under the proposed Code. Should the Code be adopted, it is recommended that a REGULATING PLAN be devised for all property within the City of Versailles.



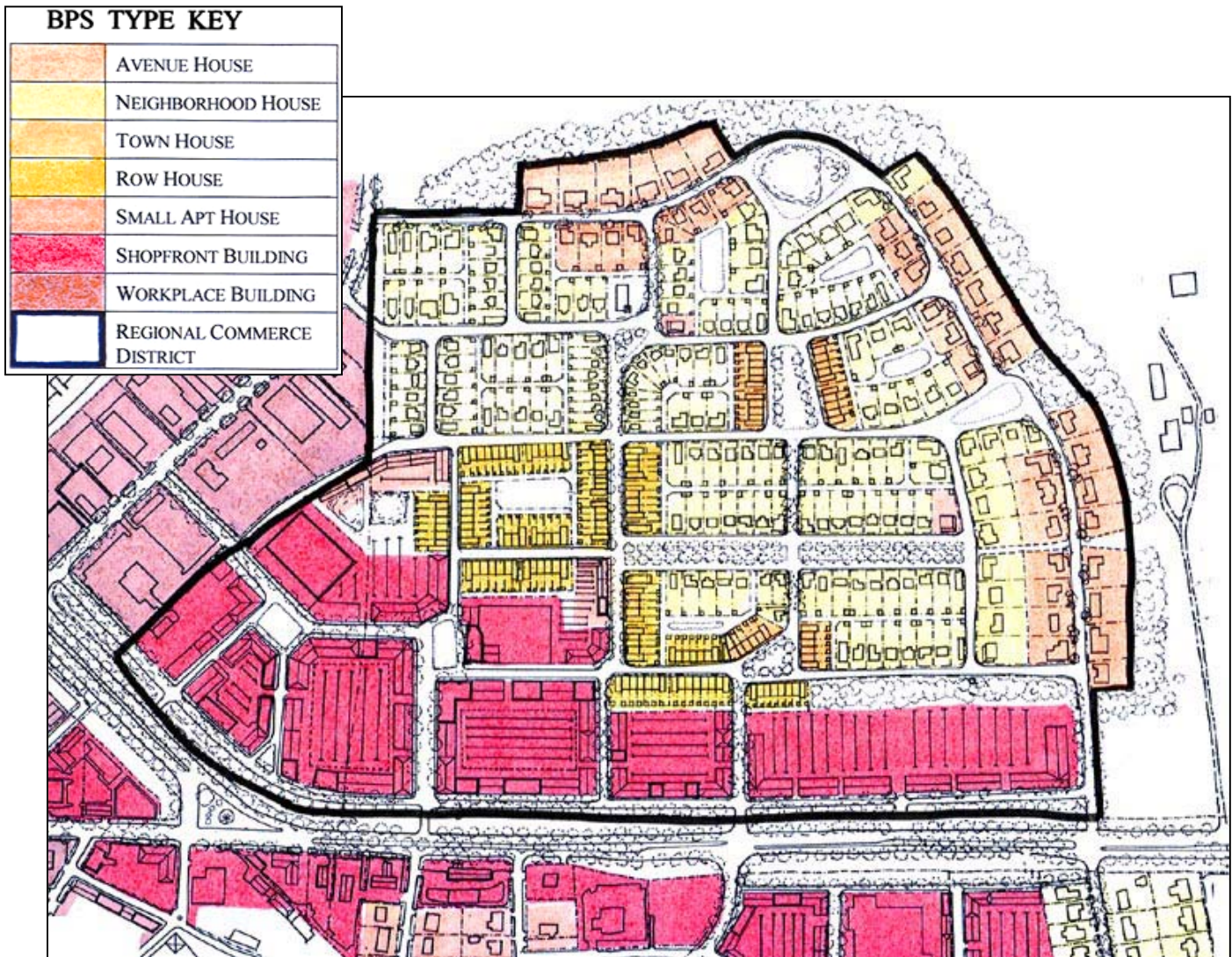
POSSIBLE REGULATING PLAN FOR VERSAILLES

REGULATING PLANS

E. VERSAILLES CENTER

The REGULATING PLAN below governs the configuration of Blocks, STREETS and SQUARES for the highway commercial area known as the “Versailles Center” and adjacent Lexington Street within the City limits of Versailles. This PLAN was designed during the *Design for Tomorrow* public workshops. Each street is designated with a color that dictates the BUILDING PLACEMENT STANDARD that is allowed for development under the proposed Code.

Due to its location and existing character as a large-scale commercial development, a district known as the “REGIONAL COMMERCE DISTRICT” is proposed as an addendum to this Code (Chapter VIII of this document). Please refer to this chapter for more specific development standards for this area.



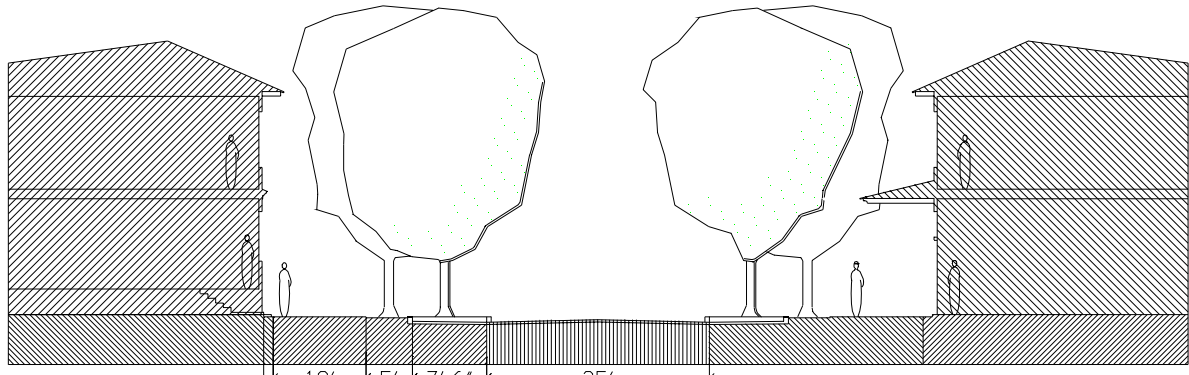
REGULATING PLANS

F. STREET STANDARDS FOR NEW CONSTRUCTION

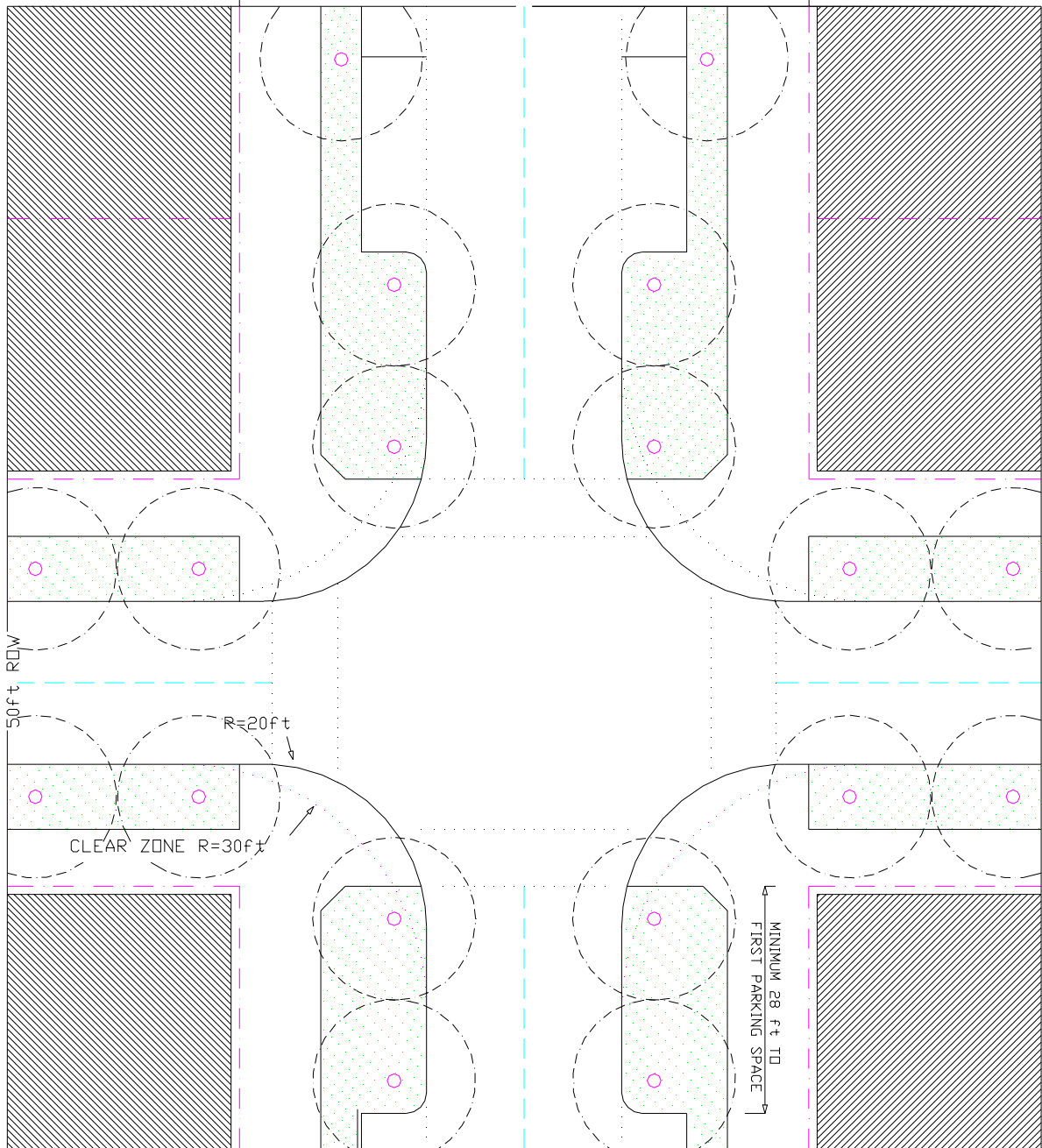
The following STREET sections are recommended for the construction of new neighborhoods and SMALL COMMUNITIES. There are other STREETS, such as wider four-lane sections, that should be detailed to correspond to the Code as part of the adoption process. These sections illustrate the relation of the paved road surface to the sidewalks, the placement of trees, and buildings that all together compose the STREET.

The STREET types are:

1. Major Street
2. Main Street
3. Neighborhood Street
4. Neighborhood Minor Street
5. Neighborhood Alley or Common Drive
6. Country Road



70 FT RIGHT OF WAY
70'

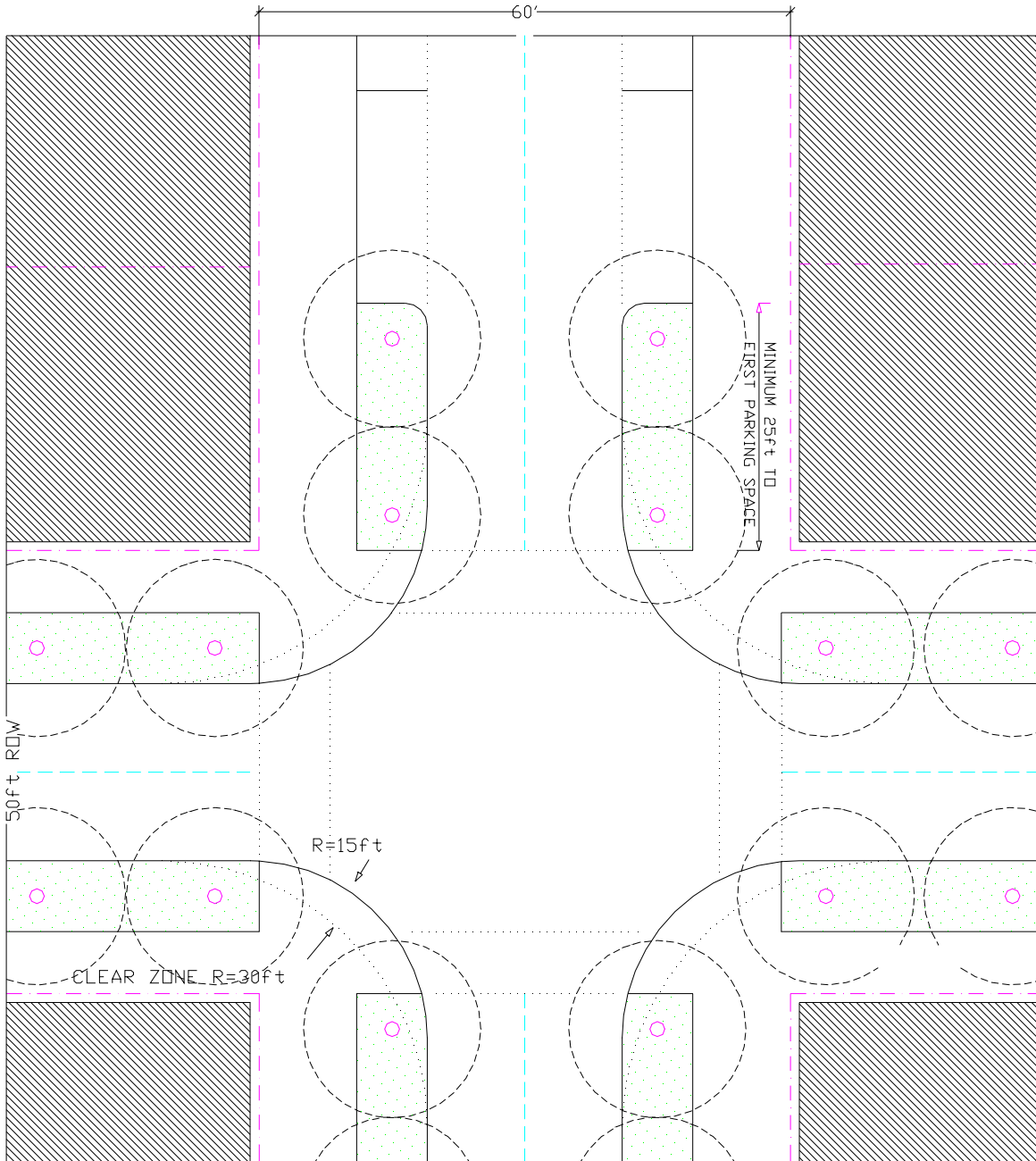
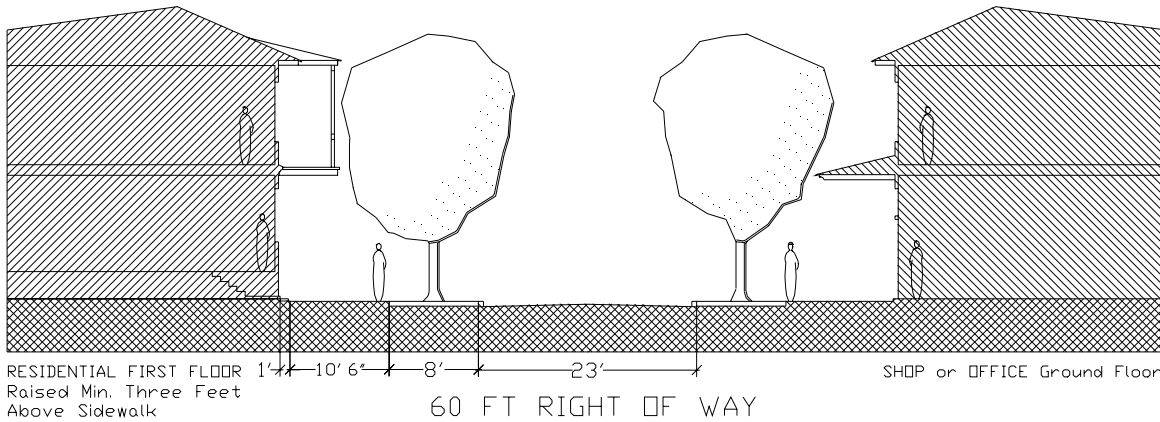


MAJOR STREET: 70ft Right of Way, Dedicated On-Street Parking
25 ft b.o.c. to b.o.c., 20 ft Curb Radius (at Travel Lane), Sidewalks 10ft Minimum.

Woodford/70urb

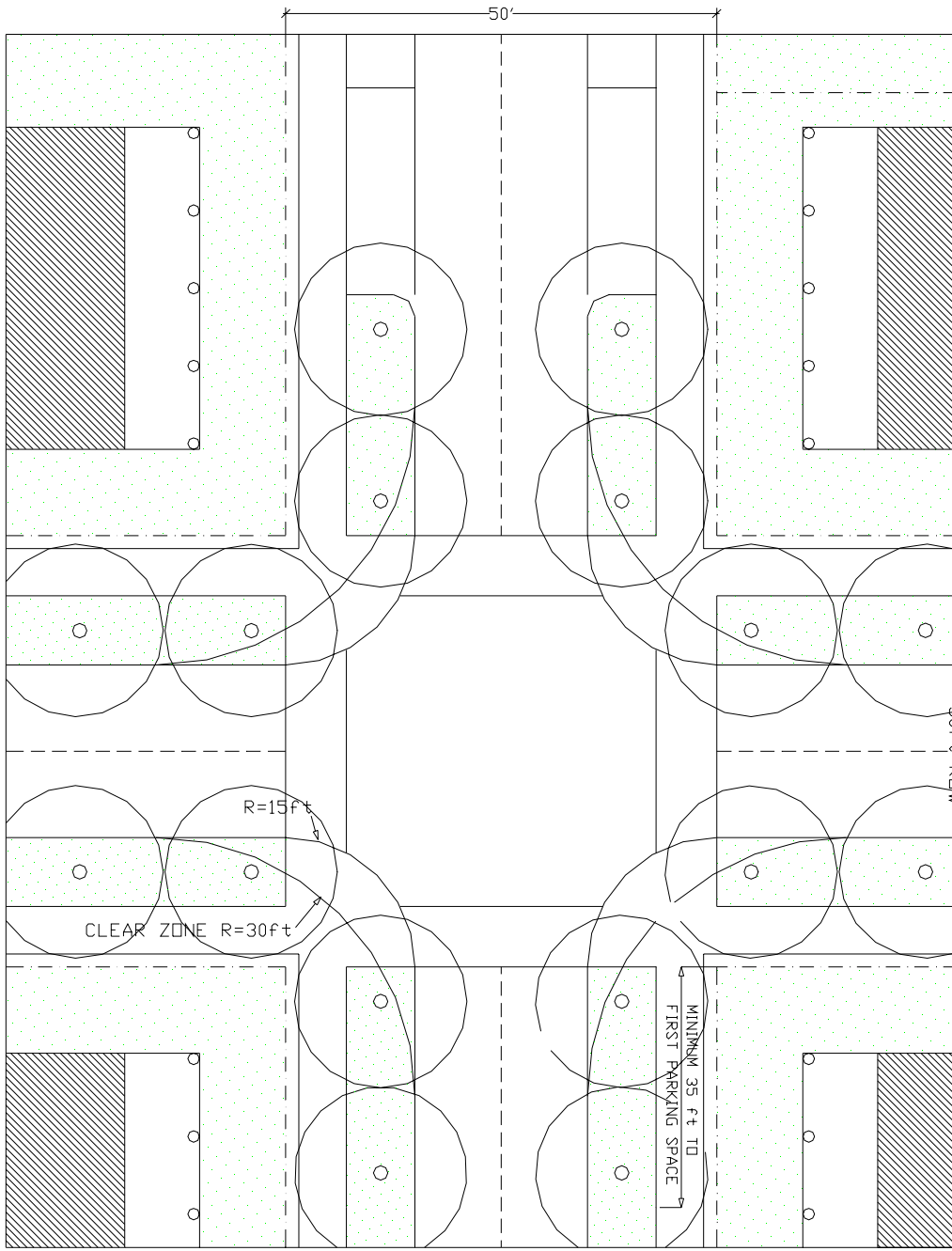
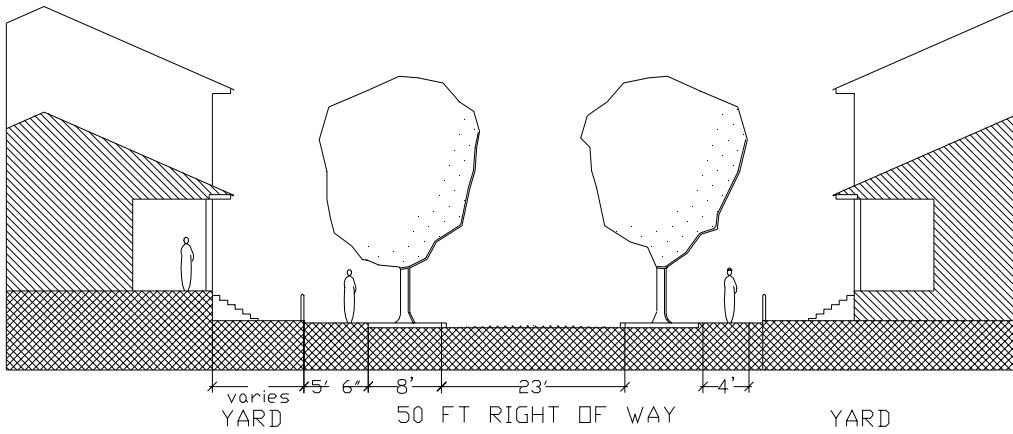
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MAIN STREET: 60ft Right of Way, Dedicated On-Street Parking
 23 ft b.o.c. to b.o.c., 15ft Curb Radius (at Travel Lane), Sidewalks 10ft Minimum.



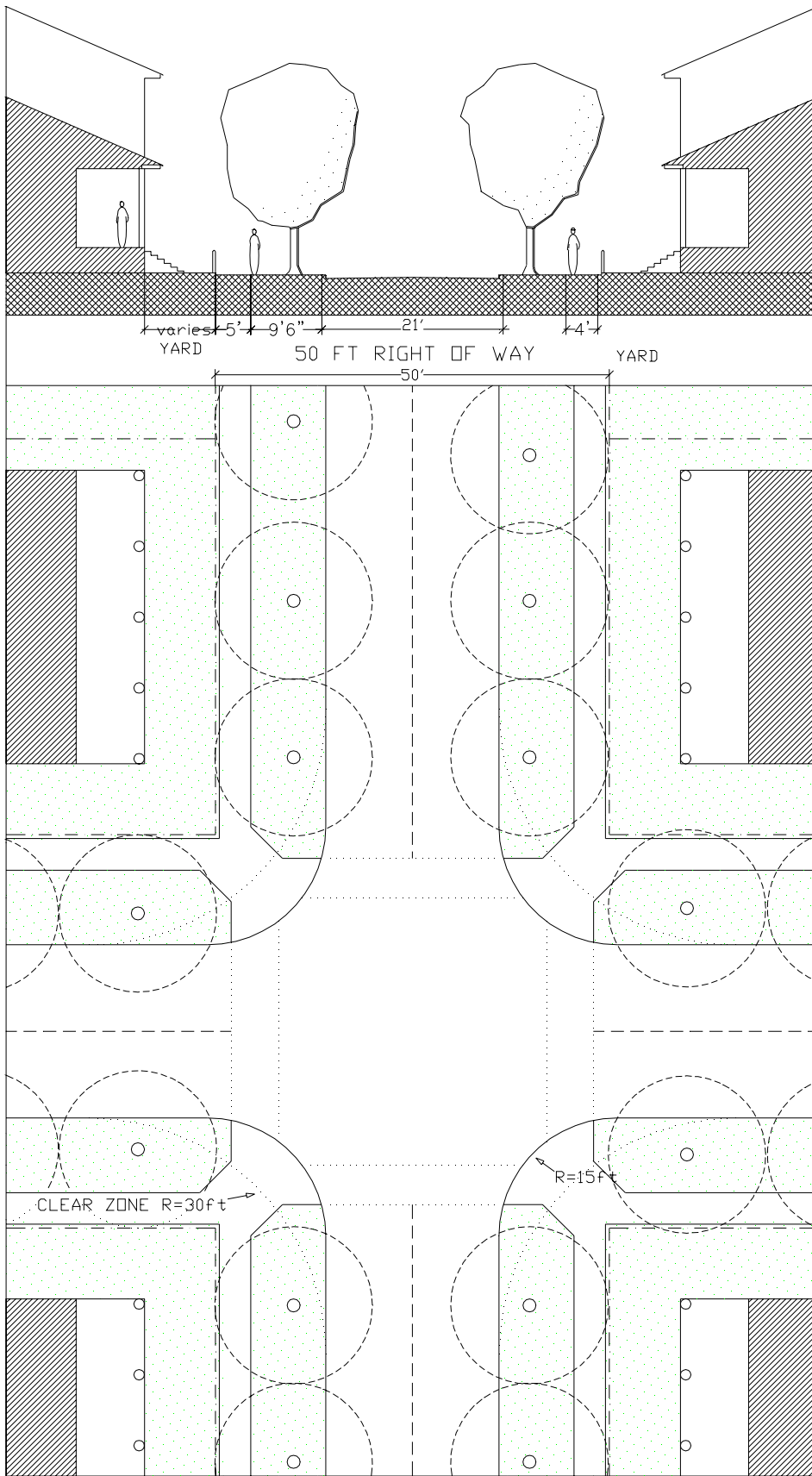
Woodford/60 Main Street © 2001 FERRELL RUTHERFORD ASSOCIATES L.L.C. All Rights Reserved

NEIGHBORHOOD STREET: 50ft Right of Way, Dedicated Parking Lane
 15ft Curb Radius (at Travel Lane), Sidewalks 4 ft Minimum.



Street\50-dedPrk

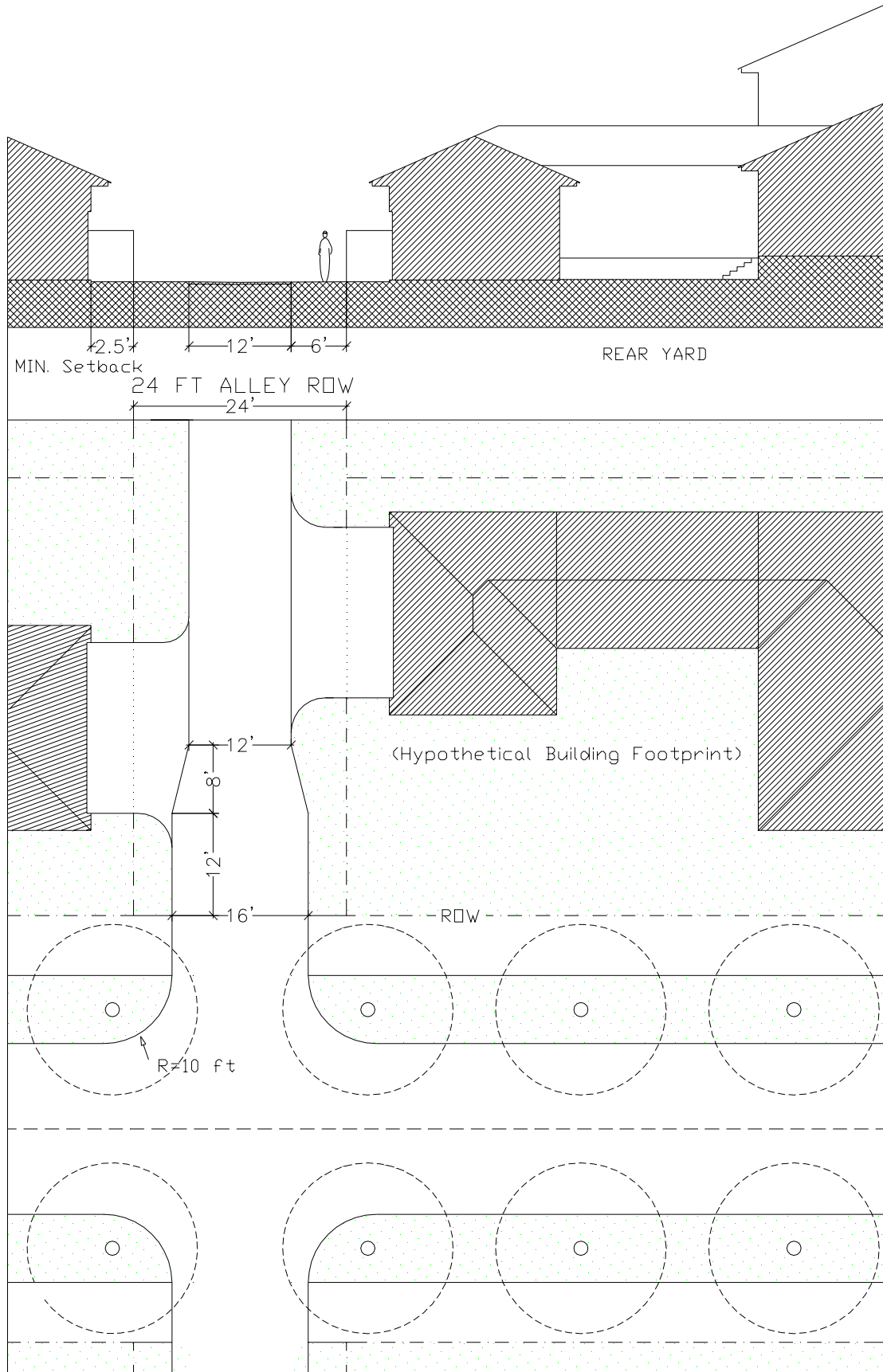
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NEIGHBORHOOD MINOR STREET: 50ft Right of Way, On-Street Parking Yield Situation
15ft Curb Radius (at Travel Lane), Sidewalks 4ft Minimum

WoodfordStreet\50 ROW-ip

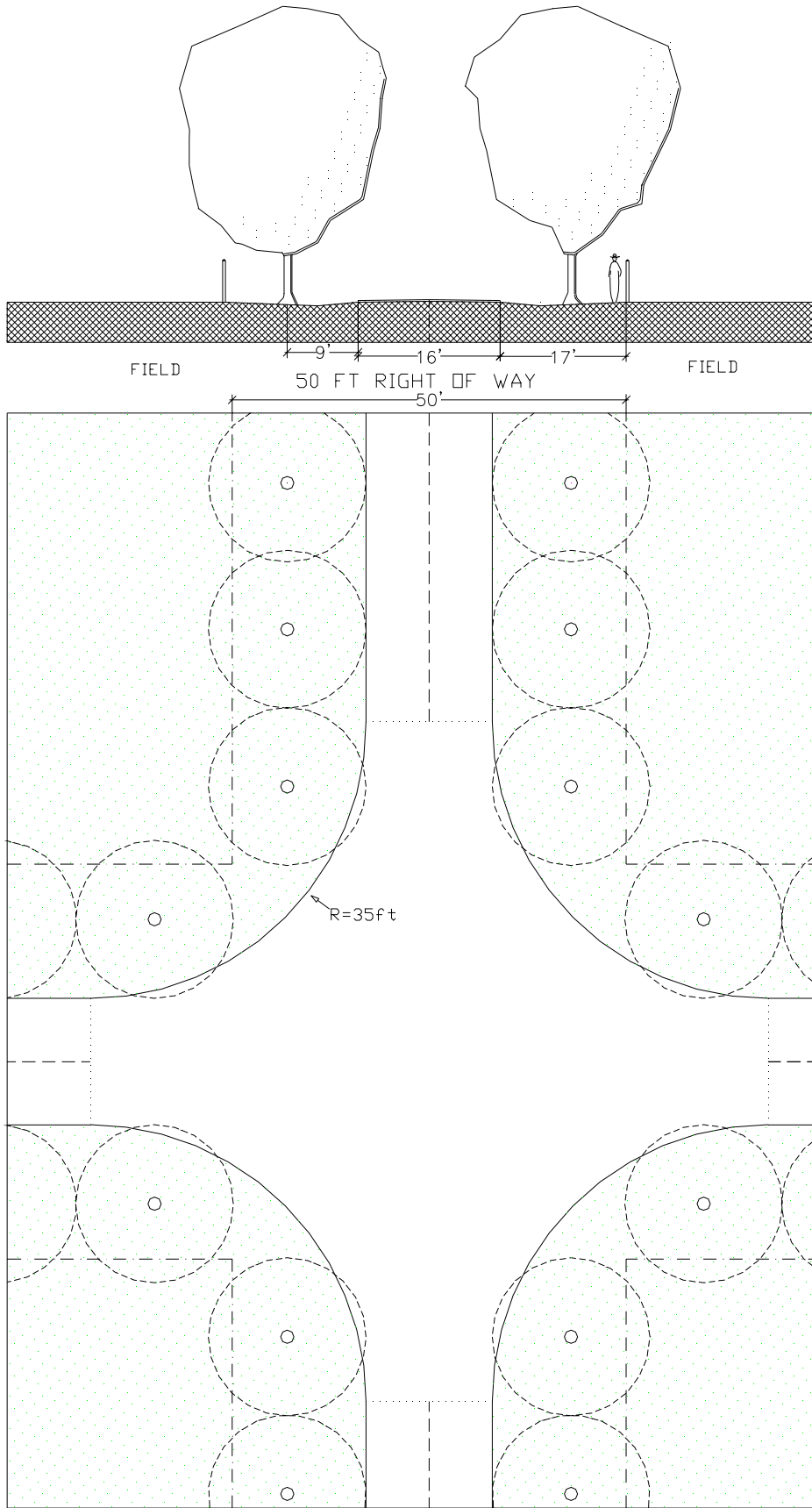
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NEIGHBORHOOD ALLEY/COMMON DRIVE: 24ft Right of Way
 10 ft Curb Radius to Street, 12 ft Pavement (16 ft at Street Intersection)
 Curb Radius and Pavement Width may vary for All-Commercial Locations

WoodfordAlley\24ROW

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COUNTRY ROAD: 50ft Right of Way, Trees 9 ft off pavement edge
35 ft E.o.p. Radius (at Travel Lane), Minimum Setback 200 ft.

WoodfordRoad\50 ROW Country Road

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CHAPTER IV

BUILDING PLACEMENT STANDARDS

	Country Houses	Avenue Houses	Shopfront	Town Houses
Height				
Siting				
Elements				
Uses				

VERSION FOR ILLUSTRATION ONLY

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*TRUE TOWNS, CITIES, AND NEIGHBORHOODS
ARE FUNDAMENTAL HUMAN CREATIONS
THAT BALANCE THINGS PUBLIC WITH THINGS PRIVATE.*

*IN HEALTHY TOWNS AND CITIES,
PUBLIC AND PRIVATE WORK TOGETHER TO PRODUCE
A GOOD 'QUALITY OF LIFE.'
WHERE EITHER THE PUBLIC ASPECT OR THE PRIVATE ASPECT
IS COMPROMISED, 'QUALITY OF LIFE' SUFFERS.*

BUILDING PLACEMENT STANDARDS

A. INTRODUCTION

The REGULATING PLANS identify the BUILDING PLACEMENT STANDARD for all lots. The goal of the BUILDING PLACEMENT STANDARDS is good STREET form and desirable outdoor private space (yards and gardens). They aim for the minimum level of control necessary to meet that goal. Variances to the BUILDING PLACEMENT STANDARDS can be granted only where the unique physical circumstance of a lot makes compliance impossible (and the specific variance must satisfy the intent of the STANDARD).

The BUILDING PLACEMENT STANDARDS set the basic parameters governing building construction, including the building envelope for (in three dimensions) and certain required/permitted elements, such as porches, balconies, and fences. The STANDARDS specify building types that work within the cities, towns and SMALL COMMUNITIES of the County as well as for the rural and agricultural areas.

B. GENERAL PRINCIPLES

1. BUILDINGS ARE ALIGNED AND CLOSE TO THE STREET.
Buildings form the space of the street.
2. BUILDINGS FORM AND PROTECT PRIVATE OPEN SPACE.
Whether a yard, garden or courtyard, private open space is an important complement to the PUBLIC SPACE of the neighborhood.
3. BUILDINGS HAVE FRONT PORCHES OR BALCONIES.
This overview of the street contributes to healthful streets and safe neighborhoods, while serving as a buffer between the house interior and street activity.
4. BUILDINGS ARE DESIGNED FOR TOWNS.
Rather than being simply pushed closer together, as in many suburban developments, buildings must be designed for their close siting within towns and cities. Views are directed to the STREET and the BACK YARD, not toward the neighbors. (See PRIVACY SIDE MANNERS on the following page)
5. PROPERTY LINES ARE PHYSICALLY DEFINED BY FENCES, HEDGES OR GARDEN WALLS.
Land should be clearly *public* or *private*—in public view for surveillance or private and protected.
6. VEHICLE STORAGE, GARBAGE AND MECHANICAL EQUIPMENT IS AWAY FROM THE STREET.
Access to garages should be from the ALLEY. Where garages must be front-loaded, they should be set at least 25 feet behind the front plane of the house.

BUILDING PLACEMENT STANDARDS

C. PRIVACY-SIDE MANNERS

PRIVACY-SIDE MANNERS is a principle taken from the City of Charleston, South Carolina. In the Charleston Single-House, where the houses are "set sideways to the street" with one side of the house broad against the neighbor's yard (generally the North), it is customary to limit windows on this side of the house to those necessary for light. As these houses are set in series, these *North-Side Manners* allow the opposite side of the houses to be open toward their own yards yet retain privacy.

The Code has codified the tradition of "North-Side Manners" into *PRIVACY-SIDE MANNERS* to provide a comfortable level of privacy and a more comfortable relation between adjacent houses on medium and small lots. This is required for new subdivisions (and encouraged for in-fill developments and additions to existing houses) on lots of 65 feet or less in width.



The *PRIVACY BUILDING LINE (PBL)* requires that each house be set to one side of the lot, the *PRIVACY SIDE*. In a series of lots within a given block, the *PRIVACY SIDE* of every lot is on the same side and is adjacent to the *OPEN SIDE* of the neighboring lot.

- Windows and other openings along the *PRIVACY SIDE* must have sills that are at least 6 feet above the finished floor level. This provides light and ventilation, while affording the neighbor privacy.
- *PRIVACY FENCES* and hedges along *ALLEYS* and *COMMON LOT LINES* (excepting the portion within the *FRONT YARD* of the lot) may be as high as 8 feet above the adjacent ground.
- Any unbuilt portion of the *PRIVACY BUILDING LINE* is required to have a *PRIVACY FENCE*.
- Porches shall not be located on the *PRIVACY SIDE* behind the front building wall.
- *PRIVACY SIDE MANNERS* are waived on *END LOTS* where the *PBL* is adjacent to the *STREET*.
- In cases where emergency egress windows are required along the *PRIVACY SIDE*, the view to the neighboring yard shall be blocked (i.e. top-hinged shutters, *PRIVACY FENCES*, etc.).

BUILDING PLACEMENT STANDARDS

D. GARDEN EASEMENTS

A key component of PRIVACY SIDE MANNERS, this provision has the effect of extending the useable yard area of lots. GARDEN EASEMENTS cover the area of the lot between the PRIVACY BUILDING LINE (indicated on the REGULATING PLAN) and the side lot line, between the FRONT YARD and the rear lot line. The PRIVACY BUILDING LINE is typically 3'-6" from the lot line. An easement over this portion of the lot, which is unusable to the property owner, allows the adjacent neighbor to extend their yard. In turn, the property owner benefits from the easement on the OPEN SIDE of his/her lot.

BENEFITS AND RESPONSIBILITIES

Lot Owner (Grantor)

Responsible for maintaining the exterior of the house, outbuilding and the PRIVACY FENCE.

- Responsible for maintaining PRIVACY SIDE MANNERS.
- Must notify Neighbor in advance when access to the GARDEN EASEMENT area is needed for the purpose of maintenance. Owner must take reasonable care not to damage Neighbor's landscaping.
- In the case that a neighboring lot is vacant at the time a Lot Owner constructs, the Lot Owner must maintain the GARDEN EASEMENT area.

Neighbor (Grantee, beneficiary of easement)

- Responsible for maintaining the landscaping and proper drainage of the area. Landscaping and installed irrigation are the property of the Neighbor.
- May not alter the elevation and contour of the ground, or plant any climbing vines against the house or fence without the written consent of the Owner (a supporting trellis is necessary).
- Must keep climbing vines and other vegetation trimmed so that it does not impair or damage windows, overhangs, or other parts of the building.
- Must keep irrigation from spraying directly on, or in any other way damaging, the Owner's house, outbuilding, or PRIVACY FENCE.
- Neighbor must grant the Owner reasonable access, with prior notification, for the purpose of maintaining the exterior of the house.

Garden easements go into effect when houses on both the lot and the neighboring lot are constructed. Until that time, benefits and responsibilities extend to each owner's property line.

E. THE BUILDING PLACEMENT STANDARDS

The following several pages outline the specific BUILDING PLACEMENT STANDARDS for each recommended building type.

BUILDING
PLACEMENT STANDARD
for
COUNTRY HOUSES

COUNTRY HOUSES

ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



Country Houses sit apart from any city neighborhood, Rural Residential Cluster or SMALL COMMUNITY on a minimum lot size of 30 acres, or on one acre for in-family conveyance lots (with a maximum density of one dwelling unit per five acres). Whether a farmhouse or an equestrian farm mansion, they are detached houses in the landscape, and set back from the road.

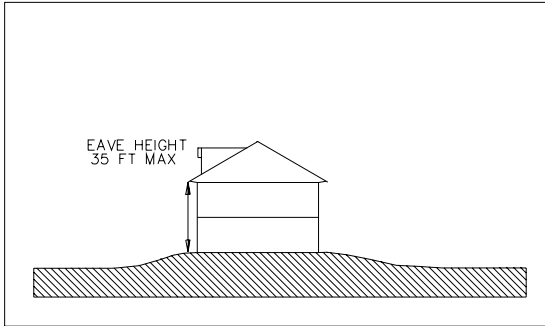
The rules for the *Country House* type also apply to small churches but would not be applicable to farm buildings, horse stables, and public buildings related to conservation and forest uses. These latter types of uses would be permitted as conditional uses with specific criteria for location and dimensions.

WOODFORD

Building Placement Standards

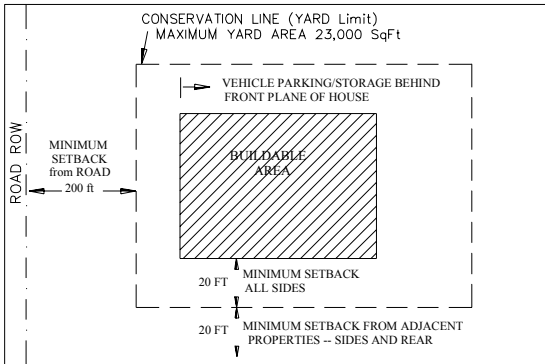
Country Houses

Height



The building shall be no more than 35 feet to its eaves (measured from the average existing adjacent grade).

Siting



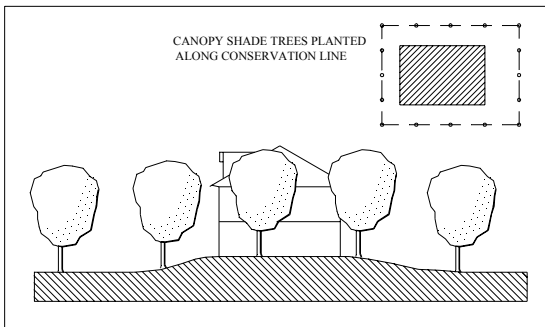
A Conservation Line / Yard Area shall be designated within the property, setback from any Road at least 200 feet, from adjacent properties at the side and rear at least 20 feet. The building(s) within shall be set back at least 20 feet from the Conservation Line.

The garage, parking for vehicles (autos, trailers, boats, etc.) shall be kept away from the road and behind the road-side facade of the house.

Garage doors (trash and/or mechanical areas) shall not face the road (or shall be screened from view).

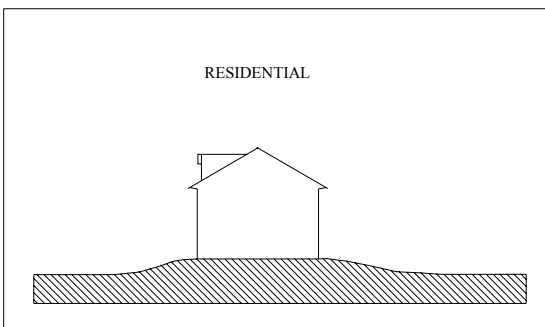
The minimum lot is 30 Acres, 1 Acre for *In-Family Conveyance* (Max Density 1 per 5 Acres). Consult the Planning Department.

Elements



Canopy Shade Trees are encouraged to be planted along the Conservation Line (within 10 feet) at a maximum average spacing of 34 feet on center in the front yard portion (toward the road) and 40 feet on center in the rear yard portion (see VI-3, D,1).

Uses



Outside of the Conservation Line only Agricultural/Equestrian, Forest, and Conservation Uses are permitted.

Within the Yard Area permitted uses are additionally: single family detached residential, Church, and Accessory Uses as listed in section 701.3 of the Zoning Ordinance.

Parking and accessory uses are permitted away from the road(s) at the rear of the Yard Area.

BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

1. To form and protect private space and property (yards and gardens).
2. To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

HEIGHT SPECIFICATIONS:

Building Height for the *Country House* type is measured relative to existing adjacent ground elevation. and the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.

ELEMENTS SPECIFICATIONS:

1. Lighting elements shall be incandescent or halogen only. No HID or fluorescent lights (excepting compact fluorescent bulbs, which screw into standard sockets) may be used on the exterior of buildings.
2. Floodlights or directional lights (max. 80-watt bulbs) may be used to illuminate the areas within the property, but must be shielded or aimed in such a way that they do not shine into other lots or impede vision on the adjacent roadway.

BUILDING
PLACEMENT STANDARD
for
AVENUE HOUSES

AVENUE HOUSES ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



The *Avenue House* type follows the tradition of larger houses along an Avenue or Boulevard, with larger front lawns providing a green and tree-lined entry into town. Generally larger than the *Neighborhood House* type (the minimum lot size is greater), *Avenue Houses* are the “grand houses” of any SMALL COMMUNITY or neighborhood. Like the *Neighborhood House*, its FRONT PORCH and FRONT YARD face the street, and generous BACK YARDS can also be utilized for maximum privacy.

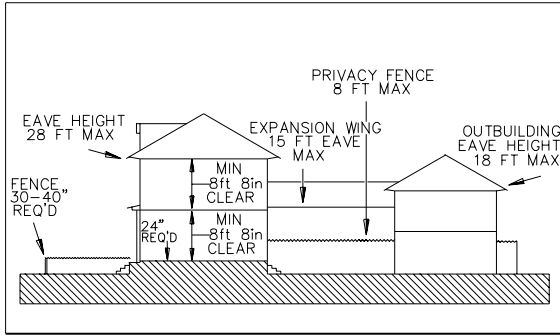
BUILDING PLACEMENT STANDARDS

WOODFORD

Building Placement Standards

Avenue Houses

Height



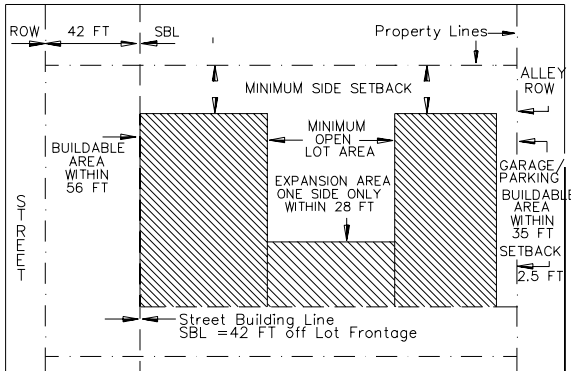
The building shall be no more than 28 feet to its eaves.
The outbuilding shall be no more than 18 feet to its eaves.

The Front Yard Fence shall be between 30 and 40 inches in height.

The first floor finished elevation shall be at least 24 inches above the mean street frontage elevation.

No less than 80% of the first and second storeys shall each have at least 8 feet 8 inches clear height.

Siting



The building shall be *Built-To* the Street Building Line which is 42 feet off the Lot Frontage -- except where otherwise designated on the Regulating Plan. The minimum side Setback is 10 feet.

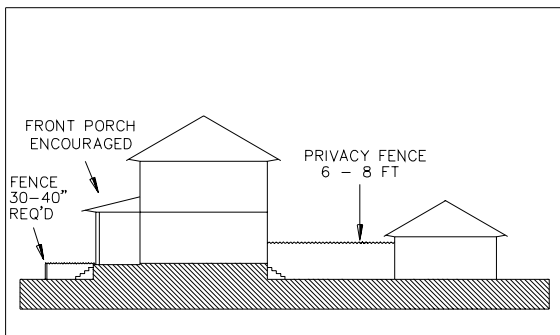
An unenclosed Stoop or Front Porch may sit forward of the SBL up to 10 feet (see *Architecture*, page 11).

Lot frontage shall be between 60 feet and 120 feet, minimum depth 120 feet.

The garage, parking for vehicles (autos, trailers, boats, etc.) shall be kept within the designated Garage-Parking area.

For lots with no Alley access, the garage door (or parking pad) shall set be at least 25 feet behind the front building wall.

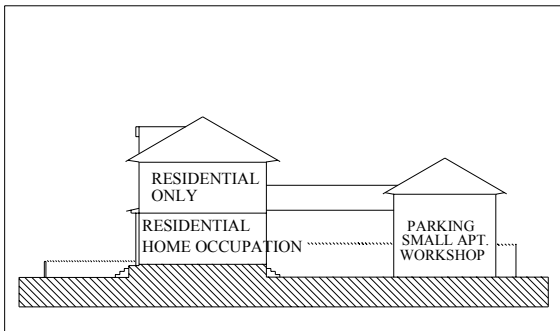
Elements



A Front Yard Fence, 30 inches to 40 inches in height, is required along the Street Frontage to at least 10 feet beyond the Street Building Line (SBL).

A Privacy Fence, between 6 feet and 8 feet in height, may run along the remainder of the rear and Common Lot Lines (except the Front Yard area which may have a Front Yard Fence). (see *Architecture*, page 13)

Uses



Above the Ground Floor only Residential Uses are permitted (including Bed and Breakfast uses under 6 rooms).

Ground Floor and Basement space may additionally include Home Occupation uses (≤ 1 employee with owner on premises) except those specifically prohibited by the Zoning Ordinance.

Parking, workshop, residential, and accessory apartment (< 650 sq ft) uses are permitted in the building area at the rear of the lot.

BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

1. To form good PUBLIC SPACES (STREETS, SQUARES, and CIVIC GREENS).
2. To form and protect private space and property (yards and gardens).

To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are *Built-To* a STREET BUILDING LINE (versus SETBACK from the ROW) in order to form a clear and coherent STREET space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - b. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the *Shopfront*, *Workplace*, *Town House* and *Row House* types.
2. For the *Shopfront* type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a GARDEN WALL.

BUILDING
PLACEMENT STANDARD
for
NEIGHBORHOOD HOUSES

NEIGHBORHOOD HOUSES ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



These houses represent only a fraction of the variety possible within the *Neighborhood House* type. Three are houses in Versailles; one is a contemporary house plan.

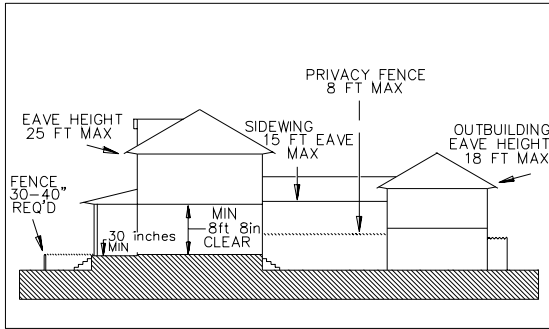
Whether large or small, *Neighborhood Houses* are the standard of any Small Community or neighborhood. Their FRONT PORCHES and FRONT YARDS contribute to the life and texture of the STREET. Careful building placement provides the *Neighborhood House* with a comfortable, generous and private BACK YARD, even on a very small lot.

WOODFORD

Building Placement Standards

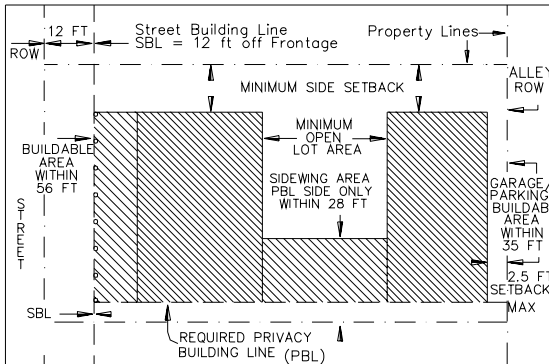
Neighborhood Houses

Height



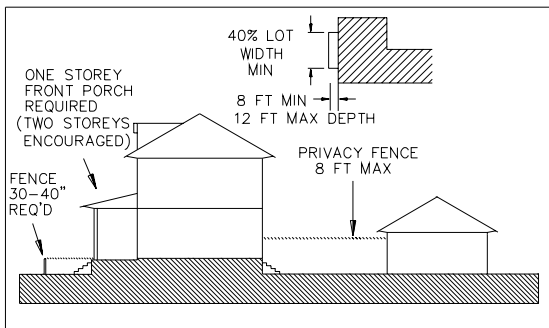
The building shall be no more than 25 feet to its eaves.
 The outbuilding shall be no more than 18 feet to its eaves. Any Siding shall be no more than 15 feet to its eaves.
 The Front Yard Fence shall be between 30 and 40 inches in height.
 The Front Porch floor elevation shall be no less than 30 inches above the fronting sidewalk elevation.
 No less than 80% of the first storey shall have at least 8 feet 8 inches clear height.

Siting



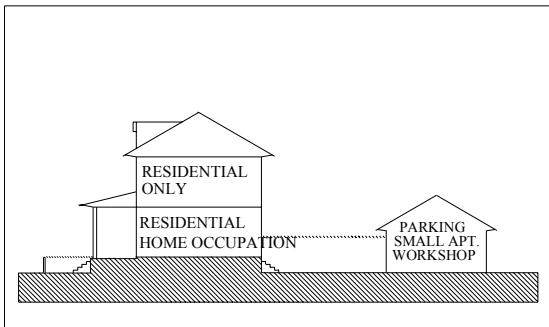
The building shall be *Built-To* the Street Building Line (SBL), 12 feet off the ROW/Lot Frontage -- except where otherwise designated on the Regulating Plan. The minimum Open-Side Setback for lots with less than 60 feet of frontage is 4 feet-6 inches.
 For lots with less than 60 feet of frontage there is a required Privacy Building Line (PBL) 3 feet-6 inches off the designated side lot line (generally North or East).
 Lot frontage shall be between 32 feet and 100 feet, minimum depth 100 feet.
 The garage, vehicle parking (autos, trailers, boats, etc.) shall be kept within the designated Garage-Parking area. For lots with no Alley access, the garage (or parking area) shall be set at least 25 feet behind the front building wall.

Elements



A Front Porch, between 8 feet and 12 feet deep with a width equal to no less than 40% of the lot frontage, is required along the Street Building Line (SBL). (see *Architecture*, page 11)
 A Front Yard Fence, 30 inches to 40 inches in height, is required along the Street Frontage and along any Common Lot Lines (except the portion within the Front Yard, see *Architecture*, page 13).
 Privacy Fencing, between 6 feet and 8 feet in height, may run the remainder of the side and rear property lines. (see *Architecture*, page 13).

Uses



Above the Ground Floor only Residential Uses are permitted (including Bed and Breakfast uses under 6 rooms).
 Ground Floor and Basement space may additionally include Home Occupation uses (≤ 1 employee with owner on premises) except those specifically prohibited by the Zoning Ordinance.
 Parking, workshop, residential, and accessory apartment (< 650 sq ft) uses are permitted in the building area at the rear of the lot.

BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

1. To form good PUBLIC SPACES (STREETS, SQUARES, and CIVIC GREENS).
2. To form and protect private space and property (yards and gardens).
3. To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are *Built-To* a STREET BUILDING LINE (versus SETBACK from the ROW) in order to form a clear and coherent STREET space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - b. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the *Shopfront*, *Workplace*, *Town House* and *Row House* types.
2. For the *Shopfront* type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a GARDEN WALL.

BUILDING PLACEMENT STANDARD

FOR
TOWN HOUSES

TOWN HOUSES

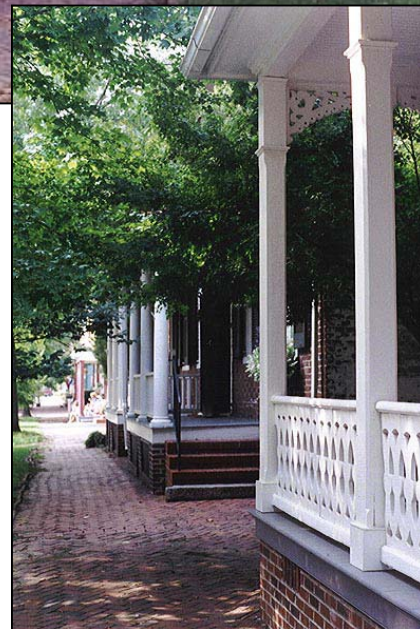
ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



Arguably the most efficient form of urban housing, true *Town Houses* deliver a comfortable private courtyard garden and define the STREET completely. A consistent SIDE WING gives the BACK YARD complete privacy from the neighbors. Deep and broad FRONT PORCHES provide individual definition to the units.

Floor plans should be relatively shallow to allow natural light and cross ventilation. Because they have fewer exterior walls, *Town Houses* can be heated and cooled more efficiently than detached houses.



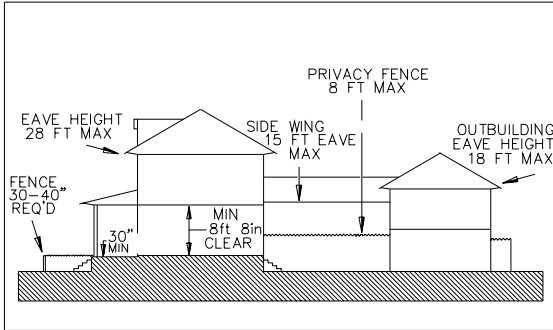
BUILDING PLACEMENT STANDARDS

WOODFORD

Building Placement Standards

Town Houses

Height



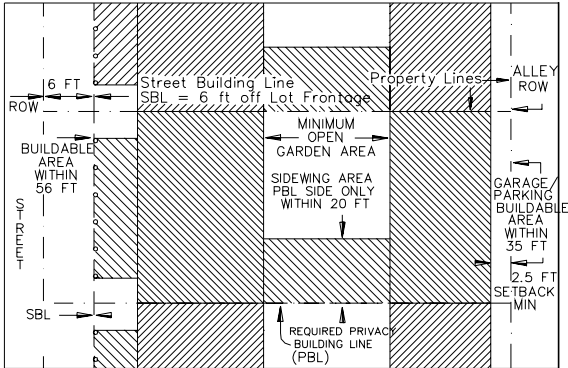
The building shall be no more than 28 feet to its eaves. The outbuilding shall be no more than 18 feet to its eaves. Any Sidewing shall be no more than 15 feet to its eaves.

The Front Yard Fence shall be between 30 and 40 inches in height.

The Front Porch floor elevation shall be no less than 30 inches above the fronting sidewalk elevation.

No less than 80% of the first storey shall have at least 8 feet 8 inches clear height.

Siting



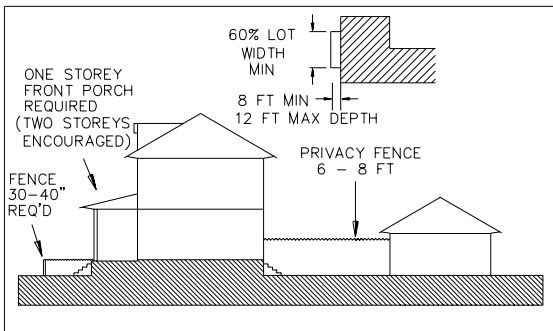
The building shall be *Built-To* the SBL, 6 feet off the Lot Frontage -- except where otherwise designated on the Regulating Plan.

Sidewing area construction shall be within and *Built-To* the Privacy Building Line (PBL) (generally the North or East side).

The lot/unit width shall be between 20 feet and 38 feet. No less than 50% of the lots in any phase shall have a minimum 100 foot depth. A maximum of 5 units shall be contiguous as one building and there shall be a minimum 15 foot gap between adjacent Town House buildings.

The garage, vehicle parking (autos, trailers, boats, etc.) shall be kept within the designated Garage-Parking area. Parking access shall be through the Alley.

Elements

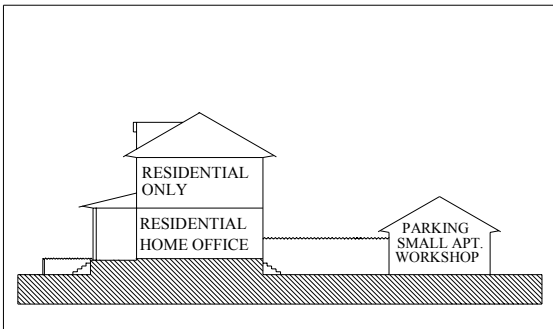


A Front Porch, between 8 feet and 12 feet deep with a width equal to no less than 60% of the lot frontage, is required along the Street Building Line (SBL).

A Front Yard Fence, 30 inches to 40 inches in height, is required along the Street Frontage and along the Common Lot Lines of the Front Yard.

Privacy Fencing, between 6 and 8 feet in height, shall be placed along any unbuilt rear and Common Lot Lines.

Uses



On the second floor and above only Residential Uses are permitted (including Bed and Breakfast uses under 6 rooms).

Ground Floor and basement space may, in addition to Residential Uses, include Home Occupation uses (<= 1 employee with owner on premises) except those specifically prohibited by the Zoning Ordinance.

Parking, workshop, residential, and accessory apartment (<= 650 sq ft) uses are permitted in the designated Buildable Area at the rear of the lot.

BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

1. To form good PUBLIC SPACES (STREETS, SQUARES, and CIVIC GREENS).
2. To form and protect private space and property (yards and gardens).
3. To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are *Built-To* a STREET BUILDING LINE (versus SETBACK from the ROW) in order to form a clear and coherent STREET space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - b. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the *Shopfront, Workplace, Town House* and *Row House* types.
2. For the *Shopfront* type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a GARDEN WALL.

BUILDING PLACEMENT STANDARD

FOR
ROW HOUSES

ROW HOUSES

ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



Like the *Town House*, the *Row House* is an extremely efficient and sociable form of urban housing. *Row Houses* define the STREET with a solid plane wall. A consistent SIDE WING gives the BACK YARD complete privacy from the neighbors. *Row Houses* typically have front STOOPS or stairs and not FRONT PORCHES as found on *Town Houses*.

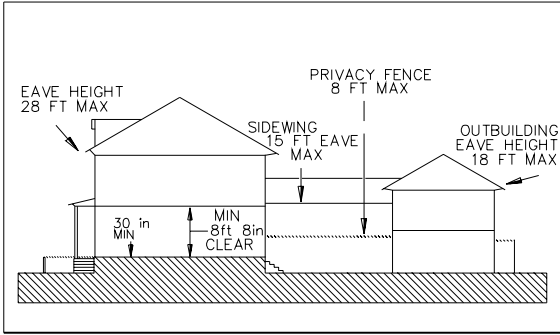
Floor plans should be relatively shallow to allow natural light and cross ventilation. Because they have fewer exterior walls, *Row Houses* can be cooled more efficiently than detached houses.

WOODFORD

Building Placement Standards

Row Houses

Height

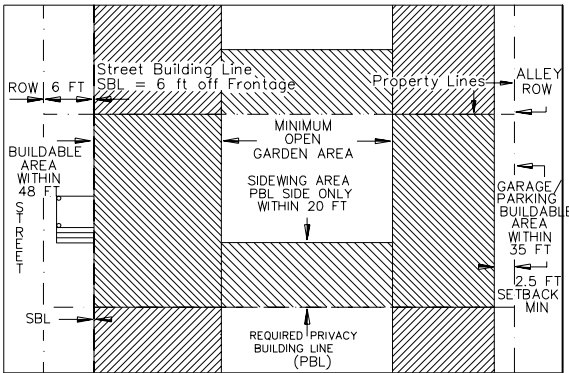


The building shall be no more than 28 feet to its eaves. Any outbuilding shall be no more than 18 feet to its eaves. Any Sidewing shall be no more than 15 feet to its eaves.

The Front Yard Fence shall be between 30 inches and 40 inches in height. The first floor elevation shall be no less than 30 inches above the fronting sidewalk elevation.

No less than 80% of the first storey shall have at least 8 feet 8 inches clear height.

Siting



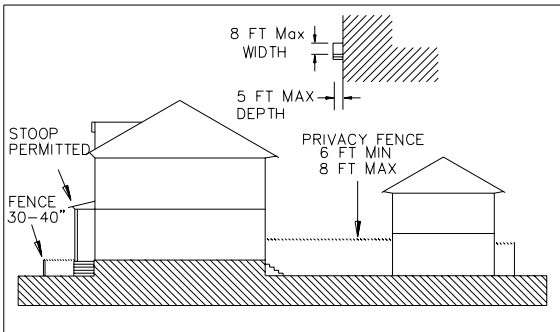
The building shall be *Built-To* the Street Building Line, 6 feet off the Lot Frontage -- except where otherwise designated on the Regulating Plan.

Any Sidewing area construction shall be *Built-To* the Privacy Building Line (PBL) (generally the North or East side).

The lot/unit width shall be between 18 feet and 28 feet. No less than 50% of the lots in any phase shall have a minimum 90 foot depth. A maximum of 5 units shall be contiguous as one building and there shall be a 15 foot minimum gap between adjacent of Row House buildings (side facades).

The garage, vehicle parking (trailers, boats, etc.) shall be within the Buildable Area. Parking access shall be through the Alley.

Elements

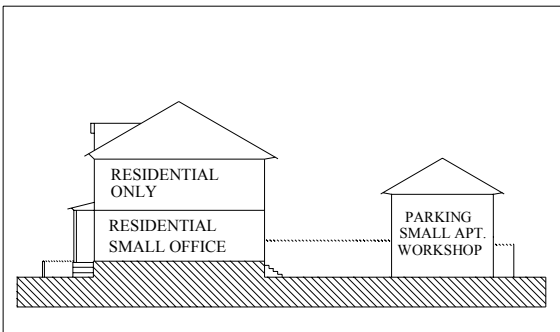


A Stoop, not more than 5 feet deep and 8 feet wide (plus steps) is permitted forward of the Street Building Line (SBL).

A Front Yard Fence, 30 to 40 inches in height, is permitted along the Street Frontage and along the Common Lot Lines of the Front Yard.

Privacy Fencing, between 6 and 8 feet in height, shall be placed along any unbuilt rear and Common Lot Lines. (see *Architecture*, page 13).

Uses



Above the Ground Floor only Residential Uses are permitted (including Bed and Breakfast uses under 6 rooms).

Ground floor and basement space may, in addition to Residential Uses, include Small Office Uses (≤ 3 employees with owner on premises) except those specifically prohibited by the Zoning Ordinance.

Workshop, residential, and accessory apartment (≤ 500 sq ft) and parking uses are permitted in the designated Buildable Area at the rear of the lot.

BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is

1. To form good PUBLIC SPACES (STREETS, SQUARES, and CIVIC GREENS).
2. To form and protect private space and property (yards and gardens).
3. To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are *Built-To* a STREET BUILDING LINE (versus SETBACK from the ROW) in order to form a clear and coherent STREET space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - b. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the *Shopfront, Workplace, Town House* and *Row House* types.
2. For the *Shopfront* type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a GARDEN WALL.

BUILDING PLACEMENT STANDARD

FOR
SMALL APARTMENT HOUSES

SMALL APARTMENT HOUSES ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



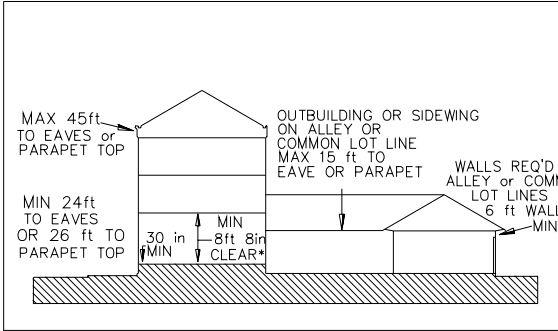
Configured at the scale of a large house and, with its upper story balconies, detailed to a fair level, the *Small Apartment House* type provides high-quality, affordable, yet low maintenance housing that can fit comfortably alongside single-family detached houses in any neighborhood. Private open space takes the form of individual porches and shared rear gardens. They are appropriate when distributed throughout the neighborhood or when fronting areas of higher activity such as the neighborhood center.

WOODFORD

Building Placement Standards

Small Apartment Buildings

Height



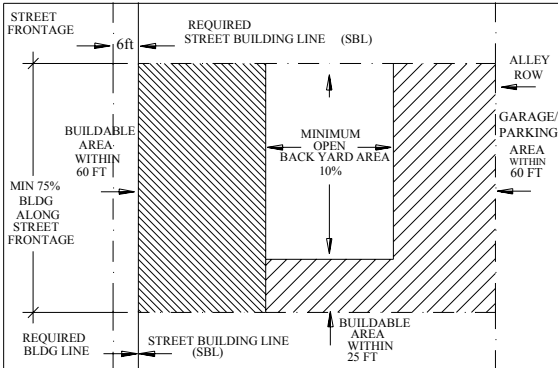
The building shall be no more than 45 feet to its eaves. Any outbuilding or Sidewing shall be no more than 15 feet to its eaves or parapet -- except where fronting a Street, where it may be up to 25 feet to its eaves or parapet.

Any unbuilt Street Frontage or Common Lot Line shall have a Garden Wall or Privacy Fence along it, between 6 feet and 8 feet in height.

The units ground storey finished floor elevation shall be no less than 30 inches above the fronting sidewalk.

No less than 80% of the first storey shall have at least 8 feet 8 inches clear height.

Siting



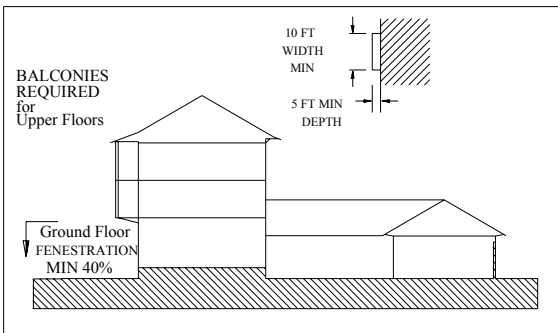
This Street Facade shall be *Built-To* not less than 75% of the Street Building Line(SBL) which is 6 feet off the ROW/Lot Frontage. There are no required side setbacks.

The maximum lot width/Street Frontage is 100 feet. Not less than 10% of the Lot area, contiguous with the rear of the building, shall be a shared Back Yard.

Any unbuilt Street Frontage or Common Lot Line shall have a Garden Wall or Privacy Fence along it, between 6 feet and 8 feet in height.

The garage, parking for vehicles (autos, trailers, boats, etc.) shall be at least 25 feet from any Street Frontage. Parking access shall be from an Alley.

Elements

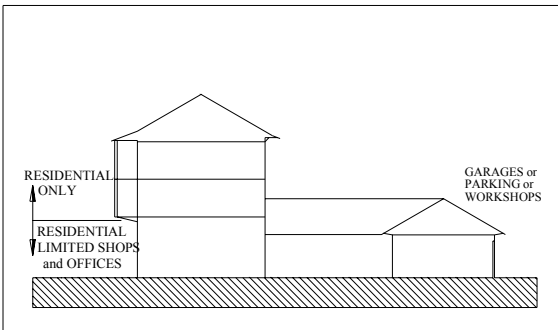


A roofed Balcony is required for each 2nd & 3rd Floor unit, minimum 5 feet deep and 10 feet wide.

Privacy Side Manners shall apply to all facades facing Common Lot Lines (no view windows) excepting ground floor windows which may face a Common Lot Line more than 30 feet away.

Parking, garages, and accessory uses may be placed to the rear of the lot. Parking shall be no closer than 25 feet to any Street Frontage or, unless hidden by a Garden Wall at least 4 feet in height or within a building, to any Side Street. Unenclosed parking shall be separated from adjacent less intense type by a Garden Wall Privacy Fence.

Uses



Upper Storeys shall be exclusively Residential Use (including Home Occupation ≤ 1 employee w/resident owner).

The Ground Floor may, in addition to Residential Uses, have small professional office, ancillary retail grocery, and cafe uses (each less than 700 sq ft) to a maximum 1,500 sq ft total per building.

Parking, garages, and accessory uses may be placed to the rear of the lot. Unenclosed parking lots shall be no closer than 25 feet to any Street Frontage and separated from adjacent uses by a Garden Wall.

BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

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Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are *Built-To* a STREET BUILDING LINE (versus SETBACK from the ROW) in order to form a clear and coherent STREET space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - c. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - d. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the Shopfront, Workplace, Town House and Row House types.
2. For the Shopfront type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a garden wall.

BUILDING
PLACEMENT STANDARD

FOR
SHOPFRONT BUILDINGS

SHOPFRONT BUILDINGS ILLUSTRATIONS AND STATEMENT OF INTENT

Note: these are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the STANDARD at right for the specific prescriptions and restrictions of this BUILDING PLACEMENT STANDARD.



Shopfront buildings are the basic building block of every American Main Street. Designed to fit and foster an active street life, their ground floor fronts have large windows to encourage the connection between the commercial activity within and the public life walking or driving by. Ground-floor uses should be flexible to accommodate a variety of retail or office uses. Upper-story uses are best as residential apartments, but they may be offices or workshops on very busy streets. Above-shop residences have proven to be good quality and affordable places for downtown living.

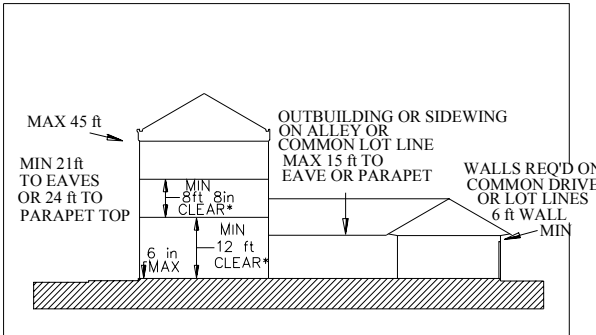
BUILDING PLACEMENT STANDARDS

WOODFORD

Building Placement Standards

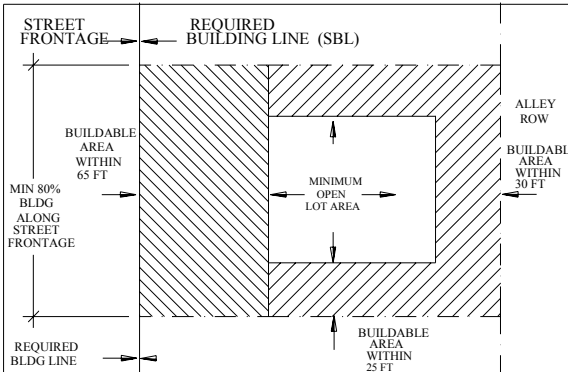
Shopfront Buildings

Height



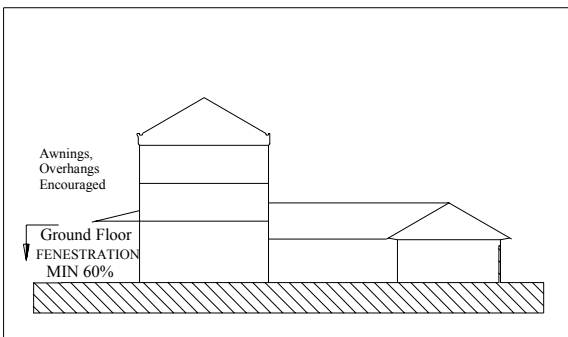
The building shall be no more than 45 feet to its eaves. Any outbuilding or sidewing shall be no more than 15 feet to its eaves or parapet -- except where fronting a Street, where it may be up to 25 feet to its eaves or parapet. Any unbuilt portion of the lot frontage shall have a Privacy Fence or Garden Wall, 6 feet to 8 feet in height, built along it. The ground floor elevation shall be no more than 6 inches above the fronting sidewalk elevation. No less than 80% of the ground floor shall have at least 12 feet clear height. No less than 80% of the second storey shall have at least 8 feet 8 inches clear height.

Siting



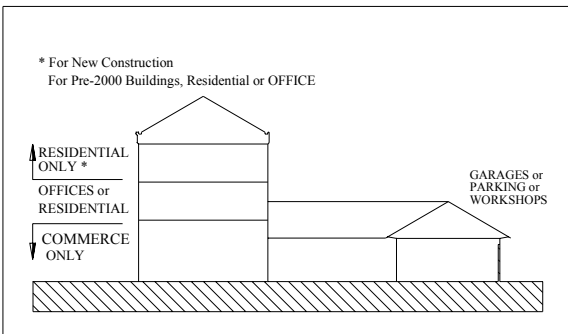
This Street Facade shall be *Built-To* not less than 80% of the Street Frontage. The maximum lot width/building Street Frontage is 100 feet. Not less than 10% of the Lot area, contiguous with the rear of the building, shall be an open & unpaved Back Yard area. There are no required side setbacks. Any unbuilt Frontage shall have a Garden Wall Privacy Fence along it. The garage, parking for vehicles (autos, trailers, boats, etc.) shall be at least 30 feet from any Street Frontage.

Elements



The primary Street Facade shall have no less than 60% Glass Fenestration (between 2 and 10 feet above the fronting sidewalk). Side Street facades shall have no less than 35% Fenestration (between 2 and 10 feet above the fronting sidewalk). Awnings and Overhangs are encouraged. Shop signs (not more than 1 foot vertical x 3 foot horizontal and minimum 9 feet clear height above the sidewalk) may be hung from such an overhang. Arcades and Colonnades (min. 11 feet clear height) are permitted if designed and constructed in contiguous Street Frontages of not less than 150 feet. Consult the Planning Commission.

Uses



The Ground Floor shall be only Commercial Uses: Retail, Office, and Artisanal Workshops (where there is a storefront office for customer entry). The Second Floor may be either Office or Residential Use (including small hotel and bed and breakfast operations). Upper Floors shall be exclusively Residential Use (including small hotel and bed and breakfast operations). Parking, garages, and accessory uses shall be placed to the rear of the lot. Parking shall be no closer than 25 feet to any Street Frontage and separated from an adjacent different use by a Garden Wall.

Version March, 2001

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BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

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2. To form and protect private space and property (yards and gardens).
3. To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are Built-To a STREET building line (versus SETBACK from the ROW) in order to form a clear and coherent STREET space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - b. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

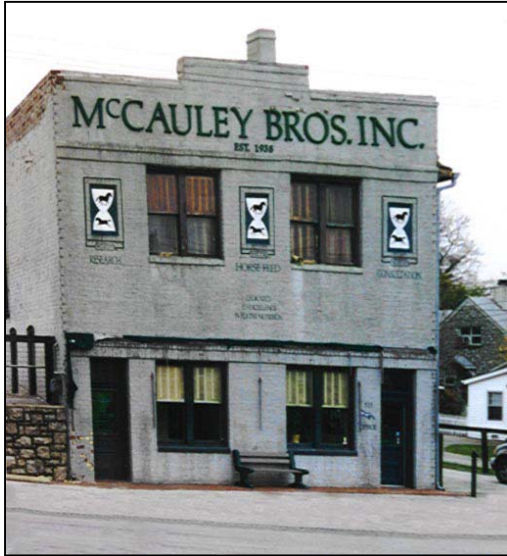
1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the *Shopfront, Workplace, Town House* and *Row House* types.
2. For the *Shopfront* type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a GARDEN WALL.

BUILDING PLACEMENT STANDARD

FOR
WORKPLACE BUILDINGS

WORKPLACE BUILDINGS ILLUSTRATIONS AND STATEMENT OF INTENT

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The *Workplace* type provides for light industrial and artisanal production and related uses in an urban form. The STREET fronted by *Workplace* buildings is a civilized space faced with office doors and windows. Buildings are set around the PERIMETER of the block with their loading bays, truck docks, and other intense activities located at the rear and away from the major STREETS. The block interior is a large, working courtyard.

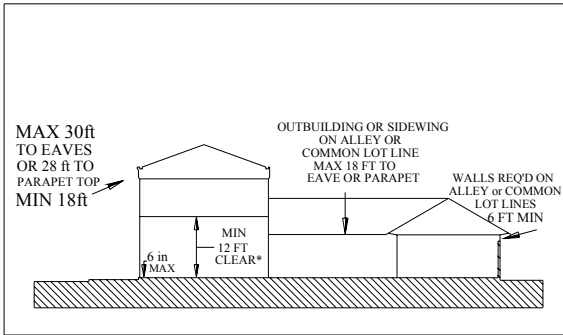
BUILDING PLACEMENT STANDARDS

WOODFORD

Building Placement Standards

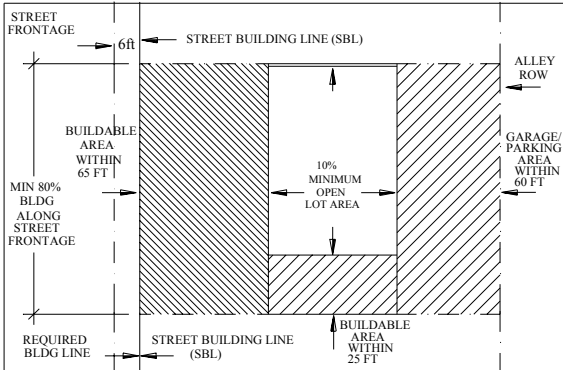
Workplace Buildings

Height



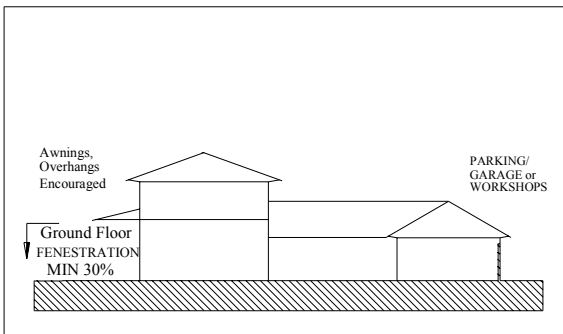
The building shall be no more than 30 feet to its eaves. Any outbuilding or siding shall be no more than 15 feet to its Eaves or parapet -- except where fronting a Street, where it may be up to 30 feet to its eaves. Any unbuilt portion of the Street Frontage shall have a Privacy Fence or Garden Wall, between 6 feet and 8 feet in height, built along it. The ground floor elevation shall be no more than 6 inches above the fronting sidewalk elevation. No less than 80% of the ground floor shall have at least 12 feet clear height.

Siting



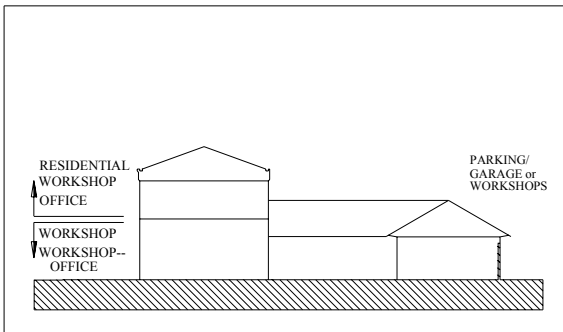
The Street Facade shall be *Built-To* not less than 80% of the Street Building Line (SBL) which is 6 feet off the Lot Frontage. There are no required side setbacks. The maximum lot width/building frontage is 150 feet. Not less than 10% of the Lot area, contiguous with the rear of the building, shall be Back Yard space open and unpaved. Any unbuilt Street Frontage or Common Lot Line shall have a Garden Wall or Privacy Fence along it, between 6 feet and 8 feet in height. The garage, parking for vehicles (autos, trailers, boats, etc.) shall be at least 25 feet from any Street Frontage. Parking access shall be from an Alley. Adjacent parking areas shall be connected.

Elements



The primary Street facade shall have no less than 30% glass fenestration (measured between 3 feet and 10 feet above the fronting sidewalk). Side street facades shall have no less than 25% fenestration (between 3 feet and 10 feet above the fronting sidewalk). Garage doors, work bays, etcetera, shall face away from the Street (e.g. be located on the rear/Alley facade).

Uses



The Ground Floor shall be only non Residential Uses such as Office and Workshop (where there is a storefront office for customer entry). An office or retail space (min. 300 sq ft) shall be at the Street facade of the building, with a functioning entry door. The Second Floor may be Office, Workshop or Residential Use. Parking, garages, and accessory uses may be placed to the rear of the lot. Parking shall be no closer than 25 feet to any Street Frontage and separated from any adjacent uses of a dissimilar type by a Garden Wall.

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BUILDING PLACEMENT STANDARDS

SPECIFICATIONS

GENERAL DESCRIPTION

The Purpose of the Woodford Building Placement Standards is:

1. To form good PUBLIC SPACES (STREETS, SQUARES, and CIVIC GREENS).
2. To form and protect private space and property (yards and gardens).
3. To protect and increase property values over time through the increased *Quality of Life* that good neighborhoods in cities, towns and SMALL COMMUNITIES provide.

Excepting the Country House type, all BUILDING PLACEMENT STANDARDS share these fundamental principles:

1. Buildings are Built-To a street building line (versus setback from the ROW) in order to form a clear and coherent street space.
2. Views are directed toward the STREET, ALLEY, and/or held with the lot – not directed into neighboring properties.

HEIGHT SPECIFICATIONS:

Building Height is measured from the highest fronting sidewalk elevation (ALLEY frontage for Outbuildings) to the eaves or other point specified on the Standard. FENCE and GARDEN WALL heights are relative to the adjacent ground elevation when not fronting a sidewalk. The *Country House* type measures height relative to adjacent ground elevation.

SITING SPECIFICATIONS:

1. The building shall occupy only the specified (hatched) area of the lot. No parts of the building (excepting overhanging eaves, garden trellises and other light and unroofed garden structures) shall occupy the remaining lot area.
2. At least 35% of the lot area shall remain open and not built upon (nor used for parking more than one day per week) except where otherwise specified in the Standard or in the Code.
3. CORNER LOTS:
 - a. The STREET FRONTAGE for corner lots is both the front and side STREETS.
 - b. The fence requirements for corner lots additionally allow a PRIVACY FENCE along the SIDE STREET FRONTAGE as a substitute for the required FRONT YARD FENCE. This PRIVACY FENCE shall begin no closer than 20 feet from the corner (ROW intersection) of the frontage street.

ELEMENTS SPECIFICATIONS:

1. The building's STREET façade should be composed as a simple plane interrupted only by porches, stoops, balconies, and storefronts. This is a requirement for the *Shopfront, Workplace, Town House* and *Row House* types.
2. For the *Shopfront* type, a storefront bay may encroach as much as 18" into the public ROW.
3. All lots bordering an ALLEY shall use the ALLEY as the primary means of automobile access.
4. Garages and parking areas shall not sit or open within 10 feet of the STREET unless hidden by a GARDEN WALL.

CHAPTER V

ARCHITECTURAL STANDARDS



In a true town, the architecture of individual buildings balances personal expression with basic characteristics that contribute to the overall aspect or composition of the neighborhood. Many people prefer the look of architecture from a particular period of history, such as Victorian or Colonial, and some people choose a more modernistic design. This set of Standards will allow buildings in a variety of such “styles.”

ARCHITECTURAL STANDARDS

ARCHITECTURAL STANDARDS

A. INTRODUCTION

The goal of this Code is to establish the characteristics that will be common to all buildings, and that the basic characteristics of a house (massing, roof pitch, porches, yards, materials, etc.), as well as its details (columns, window trim, rails, etc.), are durable and consistent with the principles of good Town and Neighborhood building. This will help ensure that the individual house and the neighborhood retain their architectural appeal and real estate value for generations to come.

B. GENERAL PRINCIPLES

1. TRADITION

- Tradition is an attitude about construction that uses time-tested techniques to address a given design problem. The idea is not to mimic the past, but rather to use discipline when designing new buildings.
- Buildings designed to weather the basic elements (gravity, sun, weather, and time) and which incorporate time-tested rules of proportion retain their appeal, while “style” comes and goes. This is the idea behind the Code’s requirements on items such as column spacing, window proportion, roof pitches and overhangs.
- The arrangement of different building materials shall appropriately express the specific properties of the materials. For example, heavier more permanent materials (i.e. masonry) support lighter materials (i.e. wood).

2. SIMPLICITY

- The building mass should be a simple composition of basic building forms following a clear hierarchy: principle structure, porches, SIDEWINGS, sheds.
- Rooflines must be simple: gables, hips, and sheds, or combinations of these three basic roof forms. Roofs should correspond to the major massing of the house; complicated rooflines are to be avoided.
- Details such as doors, windows, eaves, columns, railings, etc. should be carefully designed and constructed. This will sustain a house’s visual interest and value for a long time.

3. EQUIVALENT OR BETTER

While certain techniques and product types are prescribed here, *Equivalent or Better* practices and products are encouraged. Such variations must be submitted to the TOWN PLANNER for approval.

4. WHERE CLEARLY VISIBLE FROM THE STREET

Many requirements of this Code, especially the ARCHITECTURAL STANDARDS, apply *only* where the subject is “clearly visible from the STREET.” Note that the definition of STREET includes Parks, CIVIC GREENS, SQUARES, and all public areas except ALLEYS. The intent here is to restrict control to the public realm where it has significance and limit public interference in the private realm.

C. BUILDING WALLS (EXTERIOR)

C1. INTENT AND GUIDING ILLUSTRATIONS



Building Walls should reflect the traditional materials and techniques of Woodford County and the Bluegrass Region.

ARCHITECTURAL STANDARDS

C. BUILDING WALLS (EXTERIOR)

C2. CODE PRESCRIPTIONS: *(Where Clearly Visible from the Street)*

MATERIALS: BUILDING WALLS:

- Brick
- Wood Siding
- Stucco (cementitious finish)
- Native Kentucky Field Stone

MATERIALS: PIERS, FOUNDATION WALLS, CHIMNEYS:

- Brick
- Stucco (cementitious finish)
- Split-faced Block
- Native Kentucky Stone and similar stone

CONFIGURATIONS AND TECHNIQUES

- *Wall openings*
 - Wall openings shall be "no more squat than square"(i.e. must be taller than wide). Openings may be ganged horizontally and/or vertically if separated by a mullion or structural member that is at least 5" wide.
 - Wall material shall be consistent horizontally (i.e. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- *Brick, Block and Stone*
 - Must be properly detailed and in appropriate *load bearing* proportions.
- *Wood Siding and Wood Simulation materials*
 - Lap siding configuration
 - Smooth finish (no rough-sawn or faux wood grain)
 - Must be painted
 - Pressed wood fiber (i.e Masonite™) and textured plywood siding are not allowed.
- *Stucco (cementitious finish)*
 - Smooth, sand, or hand-troweled finish only
 - Stucco is used to cover or mimic masonry construction or as *in-fill* in wood construction. It shall be detailed appropriately to the type of construction it is implying (i.e. no stucco "beams").

D. ROOFS AND GUTTERS

D1. INTENT AND GUIDING ILLUSTRATIONS



Roofs in Woodford County have traditionally had steep pitches and generous overhangs that provide visual coherence to the cities, SMALL COMMUNITIES and farm buildings of Woodford County and show a common-sense recognition of the climate. No other architectural element so directly expresses a building's relationship with the forces of nature and time.

ARCHITECTURAL STANDARDS

D. ROOFS AND GUTTERS

D 2. CODE PRESCRIPTIONS: *(Where Clearly Visible from the Street)*

MATERIALS

- Asphalt Shingles
 - “Dimensional” shingles
 - Diamond pattern
- Metal “Galvalume,” its equivalent or better
 - 5-V crimp
 - Standing seam
- Cedar Shingle, equivalent or better
- Slate, equivalent synthetic or better

CONFIGURATIONS AND TECHNIQUES

- *Pitch*
 - Simple Hip and Gable roofs shall be symmetrically pitched between 7:12 and 12:12.
 - Shed roofs, for additions and ancillary structures only, pitched between 3:12 and 5:12 (must be attached to main building wall).
- *Overhang*
 - Eaves must overhang between 12” and 24” on the *primary structure*.
 - Rakes (gable end) must overhang between 8” and 24”.
 - Eaves and rakes on Outbuildings, dormers, and other smaller structures must overhang at least 6.”
 - Open eaves (exposed rafter tails) and simple classical soffits and fascia are allowed.
 - Fascia boards for closed soffits shall be a minimum of 6” high.
 - Soffits shall be perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).
 - Cornices and soffits may be a combination of vinyl, wood and/or metal materials.

E. WINDOWS AND DOORS

E1. INTENT AND GUIDING ILLUSTRATIONS



Windows and Doors should be kept simple. Windows should be divided by muntins into multiple panes to provide detail and hold the surface of the façade—rather than the “hole” effect that a large single sheet of glass produces. Specialty windows (oval, octagonal, Palladian, etc.) are encouraged to be one type per building (unit). Windows should be set so that the surface of the panes is recessed at least 2” behind the exterior wall surface (or window surround or shutter).

ARCHITECTURAL STANDARDS

E. WINDOWS AND DOORS

E2. CODE PRESCRIPTIONS *(Where Clearly Visible from the Street)*

MATERIALS

- Windows of anodized aluminum, wood, clad wood, or steel.
- Window glass must be clear, with at least 90% light transmission.
- Specialty windows may utilize stained or opalescent glass.
- Window screens – black or gray.
- Screen frames – to match window frame material or dark anodized.
- Doors of wood, clad wood, or steel.

CONFIGURATIONS AND TECHNIQUES

- Openings for windows, windowpanes, and doors shall not be "more squat than square" (i.e. must be taller than wide).
- Windows may be ganged horizontally if subdivided by a mullion that is at least 5" wide.
- Double-Hung, Single-Hung, and Casement Windows are recommended.
- Minimum 2-over-1 Double-Hung, Single-Hung sash configurations.
- Panes of glass no larger than 30" vertical by 20" horizontal (except as above).
- Windows shall be no closer than 36" to building corners.
- Openings in wood-clad walls must be cased (minimum 4" width).
- Exterior shutters shall be sized and mounted appropriately for the window (1/2 the width), even if inoperable.
- Egress windows
- In cases where emergency egress windows are required along the PRIVACY SIDE, some method of blocking the view to the neighboring Yard must be employed. (i.e. top-hinged shutters, PRIVACY FENCE, etc.)
- Double-height entryways are not allowed.
- Windows along the PRIVACY SIDE of a house must have sills at least 6' above the finished floor level.

STREETSCAPE STANDARDS

CHAPTER VI

STREETSCAPE STANDARDS



The memorable quality of Savannah, Paris, and Old Philadelphia can be attributed as much to the organized patterns of trees as to the architecture and urban design.

Henry Arnold, *Trees in Urban Design*, 2nd Edition

...most Americans tend to overlook formal style in designing small town gardens where naturalism inevitably backfires.

Marianna Schuyler Van Rensselaer

STREETSCAPE STANDARDS

A. INTRODUCTION

The purpose of the STREETSCAPE STANDARDS is to ensure coherent neighborhood streets and to assist property owners with understanding the relationship between the STREET and their own FRONT YARDS. The preservation and use of native plants is strongly encouraged. The use of native trees and shrubs maintains the natural habitat, supports local bird populations, conserves water and generally requires less maintenance.

B. GENERAL PRINCIPLES

1. FRONT YARDS AND BACK YARDS

- FRONT YARDS are a part of the STREETSCAPE of the Cities, neighborhoods, and *Small Communities* of Woodford County. They are the public "face" of every building, and the biggest factor in the appearance of the overall neighborhood. Therefore, there should be high standards for their configuration and maintenance.
- BACK YARDS are the private realm of the owner, and are of concern to the larger community only in cases of significant disturbance to neighbors.
- Maintenance will require more attention in the FRONT YARD as "semi-public" space than in the private BACK YARD.

2. THE STREETSCAPE

- STREET TREES are part of an overall streetscape plan designed to give special character to each STREET and coherence to each neighborhood.
- A given STREET has an assigned STREET TREE species as approved by the Town Planner.

C. MINIMUM STANDARDS FOR EXISTING BUILDINGS

These requirements would only be triggered by an application for a building permit to improve an existing structure, and would not be applied retroactively.

1. FRONT YARDS

- At least one (1) *Canopy Shade Tree* shall be planted within the FRONT YARD and no closer than five (5) feet to a common property line. At planting, such trees shall be at least 3" caliper (at chest height), and at least ten (10) feet in overall height. Species shall be selected from the *Canopy Shade Tree* list. On a lot of 42 feet in width or less, the street canopy tree may replace the required front yard canopy tree.
- FRONT YARDS shall be solidly sodded or planted with vegetation; groundcovers may be used in place of turf grass.
- Hedges are strongly encouraged along COMMON LOT LINES (see Chapter V: *Fences and Garden Walls*).

STREETSCAPE STANDARDS

- Flowering vines and/or hedges (Min. height 18", max. 40") are encouraged along the STREET FRONTAGE.
- Invasive exotic species found in the FRONT YARD should be removed.

2. BACK YARDS & BACK LOT LINES

- Along ALLEYS and COMMON LOT LINES (in the BACK YARD area), any PRIVACY FENCING made of wire shall have a hardy species of hedge or climbing vine planted along it (installed at no greater spacing than 24" on center).
- At least one (1) *Canopy Shade Tree* shall be planted in the BACK YARD area and no closer than five (5) feet to any common property line. Such trees shall be at least 3" caliper (at chest height) and ten (10) feet in overall height. Species shall be selected from the *Canopy Shade Tree* list.

3. STREETS

- Each lot must have STREET TREES planted along the STREET TREE ALIGNMENT LINE at an average spacing not greater than 30 feet on center. STREET TREES shall be at least 5" caliper (at chest height) and at least 15 feet in overall height. Consult the TOWN PLANNER for the designated species and alignment for particular streets.

D. MINIMUM STANDARDS FOR NEW SUBDIVISIONS

1. MINIMUM SHADE TREE REQUIREMENTS, BY LOT SIZE

Lot Width	FRONT YARD Trees	BACK YARD Trees
< 49' wide	Min. 1 canopy tree	Min. 1 canopy tree
50' to 69' wide	Min. 2 canopy trees	Min. 1 canopy tree
> 69' wide	Min. 1 canopy tree per 34 l.f. of STREET FRONTAGE	Min. 1 canopy tree per 40 l.f. of rear property line

2. GENERAL NOTES

- All plant material (including trees) shall conform to the standards of the American Association of Nurserymen and shall have passed any inspections required under state regulations.
- Invasive exotic species found anywhere on the lot shall be removed.
- Hedges (min. 18" high, max 40" high) or flowering vines on fences are encouraged along the STREET FRONTAGE.
- For special locations or lot configurations, the REGULATING PLAN may recommend or require certain additional plantings.

STREETSCAPE STANDARDS

3. CANOPY SHADE TREES

Canopy trees selected from the WOODFORD *Canopy Shade Tree* list shall be planted and maintained in accordance with the chart in the following section E. FRONT YARD trees shall be a minimum 20 gallons and five (5) foot clear trunk.

- Required FRONT YARD trees *may* be of a different variety than the STREET TREE. Consult the TOWN PLANNER for the STREET TREE designated for your STREET.
- Additional trees are permitted in FRONT and BACK YARDS.

4. TURF AND GROUND COVER (WHERE VISIBLE FROM THE STREET)

- All turf grass must be solidly sodded at installation, not seeded, sprigged, or plugged.
- Groundcovers may be used in place of turf grass.
- In addition to the Lot, the owner must fully plant with groundcover or sod the following areas:
 - The portion of the STREET that directly abuts their Lot between the lot line(s) and the edge of pavement.
 - The portion of the ALLEY that directly abuts their Lot between the lot line(s) and the edge of pavement.

5. SIDEWALKS

- The owner is responsible for constructing and maintaining the sidewalk in the STREET(s) abutting their lot. Sidewalks not otherwise designated in a REGULATING PLAN are a minimum of five (5) feet wide. If the owner desires to dedicate the sidewalk to the County or City, the construction of the sidewalk must meet all County or City specifications.

6. STREET TREES

- The owner is responsible for maintaining STREET TREES fronting their lot. They shall be limbed up to not interfere with pedestrian or auto travel (minimum seven (7) feet clear over the sidewalk, and 12 feet over the travel lanes of the STREET).

STREETSCAPE STANDARDS

E. THE WOODFORD COUNTY CANOPY SHADE TREE LIST

The following list contains all species approved for use in FRONT YARDS and yards adjacent to the STREET. It contains primarily native species, with some acceptable adapted plants. In the private realm of BACK YARDS, other species may be used. However, invasive exotic species may not be used *anywhere* on lots or other areas within Woodford County, the City of Versailles or the City of Midway.

▪ Acer rubrum	Red Maple
▪ Acer saccharum	Sugar Maple
▪ Aesculus octandra	Yellow Buckeye
▪ Catalpa speciosa	Northern Catalpa
▪ Celtis laevigata	Sugar Hackberry
▪ Celtis occidentalis	Hackberry
▪ Cercidiphyllum japonicum	Katsura Tree
▪ Fraxinus americana	White Ash
▪ Fraxinus pennsylvanica	Green Ash
▪ Fraxinus quadrangulata	Blue Ash
▪ Ginkgo biloba	Ginkgo (male only)
▪ Gleditsia triacanthos	Thornless Honeylocust
▪ Gymnocladus dioicus	Kentucky Coffeetree
▪ Koelreutaria paniculata	Golden Raintree
▪ Liquidambar styracifolia	Sweetgum
▪ Liriodendron tulipifera	Tulip Poplar
▪ Nyssa sylvatica	Tupelo Black Gum
▪ Ostrya virginiana	Hophornbeam
▪ Parrotia persica	Persian Parrotia
▪ Platanus x acerifolia	London Planetree
▪ Platanus occidentalis	Sycamore
▪ Quercus acutissima	Sawtooth Oak
▪ Quercus alba	White Oak
▪ Quercus borealis	Northern Red Oak
▪ Quercus coccinea	Scarlet Oak
▪ Quercus imbricaria	Shingle Oak
▪ Quercus macrocarpa	Bur Oak
▪ Quercus muchlenbergii	Chinkapin Oak
▪ Quercus nigra	Water Oak
▪ Quercus phellos	Willow Oak
▪ Quercus robur	English Oak
▪ Quercus rubra	Red Oak
▪ Quercus shumardii	Shumard Oak
▪ Sophora japonica	Japanese Pagoda
▪ Taxodium distichum	Bald Cypress
▪ Tilia tomentosa	Silver Linden
▪ Ulmus parvifolia	Chinese Elm
▪ Ulmus americana	American Elm
▪ Zelkova serrata	Japanese Zelkova

STREETSCAPE STANDARDS

CHAPTER VII

APPROVAL PROCESS

A. INTRODUCTION

The intent of the Code is to provide a set of regulations that everyone can agree to, that is easy to use, and that produces a built environment that achieves the goals of the County's Plan and citizens. Because this Code are prescriptive rather than proscriptive - they state what is desired instead of what is not wanted - buildings and developments that meet the criteria can be permitted automatically. The County staff can then facilitate good design and development in an integrated process, where all of the necessary approvals and reviews can occur simultaneously. The adoption of the recommended Code entails a reworking of the current approval process. The following sections put forth some recommendations for a by-right system for two different processes, the *building permit process* and the *development plan process*.

A "by-right" process is the process of permitting that can proceed without any change in zoning or special approval. It is the "normal course of business." The intent of the Code is that most development should occur *by-right*; since the Code is written to reflect the goals of the adopted Plan and those of the citizenry, development under the new Code should cause less controversy than development under the current system.

B. BUILDING PERMIT APPROVAL PROCESS

This section will compare the current building permit approval process with recommendations for utilizing the Code.

1. *Current Process*

Under the current regulations (Section 301.3 of the Zoning Ordinance), a building permit is required for the erection or moving of, or alteration or addition to any structure in the City of Versailles, City of Midway, and in the County. All applications for a building permit must include the following:

- (a) Completed application form
- (b) Site plan or lot layout
- (c) Floor plans of proposed structure
- (d) Building elevations
- (e) "Any other information deemed necessary"

More information required regarding the site plan or lot layout is also specified and is grouped into three general categories:

- (a) Identification of Lot and Proof of Services
- (b) Dimensions and Character of Structures
- (c) Environmental Effects

It is the second category with which the new Code is most concerned. Related to this second category, the information items that must be submitted now are:

For a single family or two family dwelling and accessory buildings:

- Lot layout drawn to scale showing location and dimension of any existing or proposed principal or accessory buildings on the lot

- Location and dimension of all required yards and easements
- Height of the building
- Location and dimension of required parking on the site

For all other buildings:

- Ingress and egress to the property
- Off-street parking and loading facilities, and other paving
- Refuse and service areas and structures
- Proposed sign locations
- Existing and intended use of each building or part of the building including the number of existing and proposed dwelling units

It is evident that the current process requires a great degree of detailed information in order to obtain a permit. However, the standards inherent in the regulations are mostly restrictions that deal with safety, potential nuisances, and the accommodation of vehicles. The new Code recommends specific standards that, in addition to safety, privacy and uses, work together to shape individual buildings into a neighborhood.

2. *New Code Recommendations*

As mentioned above, there are three general categories of information that are part of any building permit submission. The recommendations here will not deal with changes to the requirements for "identification of lot and proof of services," nor will the Codes recommend additional requirements for "environmental effects." It is recommended that the County examine these two categories at some point to determine what improvements could be made to achieve the County's goals of responsible growth. All other sections under Article III of the Zoning Ordinance except for Section 301.3 could remain unchanged.

The existing Ordinance recommends that all structures meet certain minimum criteria, whether the structure is a single family or two family dwelling, an accessory building, commercial building or public building. In addition to safety codes and ownership certification, the new Code enhances the current basic requirements by adding specific dimensions as standards for compliance. These Standards govern:

- (a) Placement on the lot (including setbacks, easements and yard dimensions)
- (b) General massing (including height)
- (c) Roof pitches
- (d) Porch dimensions
- (e) General materials
- (f) Proportions, window spacing, column spacing, and other details of residence and accessory buildings, provided in a basic architectural drawing or house plan.
- (g) The preservation of vegetation and significant trees, if applicable, and the relation of the lot vegetation to existing trees on the street.

The request for information is basically the same under the current and proposed systems. The difference is that the Code gives standards which achieve a particular building form based on local tradition and foster the shaping of public space by these private buildings.

The basic process recommended to obtain a building permit is a three-step process:

- (a) Pre-Design Meeting
- (b) Pre-Construction Review
- (c) Final Construction Approval

Pre-Design Meeting

The builder or property owner meets with County staff to discuss his or her intentions for the proposed development. The applicant may bring a basic sketch plan and specifications for the building. This meeting is to assist the builder or owner and identify potential issues regarding compliance with the Code.

Pre-Construction Review

The builder or property owner submits all required information for the County to review. All compliance issues are resolved, or requests for any variances are submitted at this point to achieve specific design goals.

Final Construction Approval

The builder or property owner submits all required information in a format ready for final approval and recording. All other approvals for services and variances must be incorporated into the final design and submittal.

Some of the houses in Woodford County may be model home designs built by “production builders.” Each of these designs must go through the entire process outlined above. However, once a model is approved, it may be used again using an abbreviated process. If a pre-approved model house design is used, the builder or owner may go through a simplified process that concentrates on building placement and not on architectural standards.

C. DEVELOPMENT PLAN APPROVAL PROCESS

Development permits are issued in the County as subdivisions, development plans, and conditional use permits. This section will outline the current requirements for each of these processes, and then recommend a new process to implement the Code. Since development is occurring at a level with greater potential for impact than a single building, greater degrees of design are necessary.

Subdivision Approval Process

1. Current Process

The subdivision process is used to create additional lots from a single property. This process is triggered when three or more lots are created. Subdivision regulations are designed to encourage coordinated development according to sound practices for the general health, safety and welfare of the County’s citizens. The current procedure for subdividing property includes three steps:

- (a) Advisory meeting with Planning Commission
- (b) Preliminary Plat review and approval
- (c) Final Plat review and approval

These three steps are outlined as follows:

Step One: Advisory Meeting with Planning Commission

The purpose of this meeting is to give the subdivider assistance from the County before spending too much time or money on the proposed project. For this review, the subdivider presents a Sketch Plan that shows the following information:

- Location and tract boundaries
- Rough street and lot layout
- Other information concerning pertinent physical features
- Availability of utilities
- Existing zoning
- Recreational areas
- Development phasing schedule

Step Two: Preliminary Plat Review

All subdivision plats must receive preliminary approval before any work may proceed. The Preliminary Plat shall show or be accompanied by the following information regarding site analysis (not including basic identification information):

- Vicinity sketch map indicating location with respect to surrounding property and streets and all streets or alleys or dirt roads on or within 500 feet of subdivision.
- Zoning classification and any need for rezoning.
- Copies of Deed restrictions.
- Subdivision boundaries, all existing easements, rights-of-way, parks and other public open space.
- All existing pertinent features either natural or man-made that may influence the design of the subdivision, such as water courses, tree groves, swamps, rock outcrops, outstanding natural topographic features, power transmission towers, scenic or historic areas, existing buildings, sewers, water mains, culverts, utility lines and fire hydrants.
- Existing topography at two, five or ten foot contour intervals, depending on location.
- If individual wells or septic tanks are proposed, sub-surface conditions, including location and results of tests made to ascertain soil, rock and groundwater conditions, must be shown.
- Layout of all proposed and existing lots with dimensions for each lot, proposed uses and setbacks for each lot, and location of each building and driveway when known.
- Locations, widths, grades and names of proposed streets and alleys.
- Cross-sections of each new street, showing width and type of pavement, and the size and type of gutters, sidewalks and utility lines.
- Location of new and proposed monuments.
- Location and dimensions of all property to be dedicated or reserved for public use or for easements.
- Proposed public improvements, parks, streets or other major improvements shown on Comprehensive Plan.
- Proposed provision of public infrastructure and services, drainage, street trees, lighting, signs, sidewalks and other improvements.
- Proposed drainage system.
- Proposed location of trees and groves to be retained, for subdivisions of 10 or more lots.

Step Three: Final Plat Review

The Final Plat Review process ensures that the subdivider has met all the County requirements and is ready to receive final approval to commence work. In addition to information regarding identification, location and legal certification, the Final Plat Review must include regarding site design:

- Exact layout of subdivision, including streets, alleys, easements, rights-of-way, and lot lines.
- Lots and blocks numbered and lettered.
- Area of each lot.
- Setback lines.
- Public and open spaces drawn and identified.
- Profiles and cross-sections of all streets, with sidewalks, curbs and gutters if appropriate.
- Location of all utilities.

2. *New Code Recommendations*

The current subdivision process is fairly typical of most counties, and may require only minor changes in order to implement the new Code and to be improved in general. As with the building permit process, the Code adds standards to the County's requirements that demand more attention paid to the relationship of the lots to each other and to public space created near the lots.

It is recommended that the same basic kind of process be utilized for the new Code, including the threshold of three or more lots to trigger the subdivision process. The adoption of the Building Placement Standards will simply add different standards to follow.

Development Plan Approval Process

1. *Current Process*

Development plans are required when the property owner wishes to rezone his/her property. Also, development plans are required for any development that occurs in the following zoning districts:

- R-4 High Density Residential District
- B-3 Planned Shopping Center District
- B-4 Highway Business District
- B-5 Highway Interchange Service District
- Planned Unit Developments
- Both Industrial Districts (I-1 and I-2)
- Mobile Home Districts
- Any development with more than one principal structure on a lot.

Currently, the Zoning Ordinance specifies two phases of review: a Conceptual Plan Approval and a Final Plan Approval. For the Conceptual Plan, the developer must submit the following information:

- Conservation of natural resources, including trees, slopes, water courses, soils, air, scenic views and historic sites.
- Provisions for safe and efficient vehicular and pedestrian transportation both within the development and the community.

- Compatibility of the overall site design and land uses with the existing and projected future development of the area.
- Provision of sufficient open space (scenic and recreation).
- Provision of adequate drainage facilities.
- Conformance of development plan with the Comprehensive Plan and Zoning District regulations.

The Final Plan Approval process includes the submittal of a significant amount of information that shall not be listed here (see Section 503.3.D of the Zoning Ordinance). This information thoroughly details the information required for the Conceptual Plan approval, and the County has a fair amount of discretion to ask for additional information.

2. *New Code Recommendations*

The Zoning Ordinance has two basic categories of zones/districts:

- Districts specifying basic terms of use, lot, yard and height requirements and special provisions.
- Districts specifying all of these terms plus overall layout and/or locational standards.

Under the proposed Code, all zoning districts would contain the same standards and requirements, with conditions attached to conditional uses that met the intent of the Code as well.

Regarding the development process, the idea of submitting a conceptual plan before a final plan is recommended. This process should be expanded to include three steps, beginning with an initial meeting between the County and the property owner or developer and ending with approval of construction documents. Each step is described below:

Step One: Pre-Design Meeting/Sketch Plan Review

Since this is a new process for the County, it would be wise to counsel applicants, especially those long familiar with the current process, to meet to discuss how the new Code will apply. By meeting with the County Planning Staff early in the process, they can give valuable suggestions and help avoid costly changes in the plans later. This meeting is chiefly intended to help applicants and the Commission staff to develop an understanding of the property and a design scheme that incorporates and respects the natural and/or built features surrounding the property to be developed.

At this meeting, the applicant should submit a Sketch Plan to discuss with the staff. The Sketch Plan should be accompanied by a Site Analysis and Map as described below:

Site Analysis and Map

For all development plans, a Site Analysis and Map should be prepared to provide the developer and the County with a comprehensive analysis of existing conditions both on and around the proposed site. The County reviews the analysis and map to ensure accuracy, conformance with adopted ordinances and anticipated impacts of the development in the area. The Analysis should include a written narrative and a map.

The written narrative should address the following questions:

Regional Analysis:

- Is the location of this new development consistent with a comprehensive regional plan?
- Will the location increase the likelihood of public transit to someday service the site?
- Does the adjacent street or road have the appropriate speed posted to ensure safety for the neighborhood?
- How does the development contribute to a balanced mix of uses in its area?

Site Analysis:

- Are water features, wetlands, significant trees and vegetation and other natural resources incorporated into the design to the extent that they enhance the design and respect the ecology of the area? Are they utilized in the public space as well as the private yards?
- Does the plan achieve a viable street network without excessive reworking of the natural topography?
- Does the view of the development from major thoroughfares, and other places from which it can be seen, appear to enhance the landscape and not detract from the surrounding area?

The map should be an aerial photograph enlarged to a scale not less than 1 inch = 400 feet, with the site boundaries clearly marked, as its base. Overlays may be used to facilitate readability of the map. The map should then include the following information:

- Topography contour lines, at a scale that is readable and appropriate to show the contours of the site. Topography for major subdivisions should be prepared by a professional surveyor or engineer and coordinated with official USGS benchmarks.
- Delineation of ponds, streams, ditches, and other man-made and natural drainage features, as well as the 100-year floodplains and wetlands. Watershed boundaries should also be delineated.
- Vegetative cover conditions described according to general type, age and condition. Significant trees (over 30 caliper inches) should be specifically marked.
- Delineation of soil types, as defined by the USDA published soil survey for the County, and chart of data published for each soil type for its suitability for construction and septic tanks.
- Viewshed analysis showing the location and extent of views into the property from public areas (including roads).
- Geologic information (rock formations, sinkholes, fault lines, etc) and location of these features on the site.
- All existing man-made features, such as streets, other paved surfaces, dirt roads, buildings, wells, drainage fields, dumps, utilities, rail lines, walking trails and recorded easements.
- Location of known and suspected historic structures and archaeological sites.

*Step Two: Conceptual and Final Plan Review***A) Conceptual Plan Review**

The Conceptual (or Preliminary) Plan is a scale drawing in which ideas are illustrated in more detail than in the Sketch Plan. This Plan is developed before expensive engineering costs are incurred for preparing detailed alignments for streets and calculations for stormwater management. The Conceptual Plan is reviewed by the Planning Staff to ensure compliance with the Code. The Staff may specify changes that it deems necessary to ensure compliance, and grants preliminary approval subject to such changes being made.

The submittal requirements are similar to those of the current process for preliminary plat review. The requirements would be modified to incorporate the Code and those elements deemed to be necessary by the County regarding environmental safeguards and assurance of service provision.

B) Final Plan Review

After all issues and concerns are addressed in Step Two (A), the applicant brings the plan back for final approval by the Planning Commission. This review is accompanied by a public hearing as well as a staff report outlining the merits and deficiencies of the project; no project should come before the Planning Commission that has not been approved by the staff. Once the Planning Commission approves the project, the owner or developer may then proceed to obtain construction plan approval.

Step Three: Construction Plan Approval and Final Plat Approval

Once the plan is approved by the Planning Commission, the applicant can then proceed to final construction plan approval. During this step, the applicant submits final, engineered plans to the Commission staff in order to secure permits to begin work on the property. Final plat approval is then granted by the staff, provided that the final drawings meet the requirements of the Code and the Planning Commission approval.

Conditional Use Approval Process

The Conditional Use Permit is administered by the Board of Adjustment on a case-by-case basis. From what is written in the Zoning Ordinance, it appears that no actual conditions are stipulated; conditions are attached to permits based on the Board's discretion. Further, no requirements are listed for what is submitted for review. It is recommended that all conditional uses be examined, specific conditions be written that meet the intent of the Code, and a process written down as part of the Code.

D. REVIEW STRUCTURE (COUNTY STAFF AND REVIEWING BODIES)

1. Commission Staff

Woodford County currently has two principal staff persons reviewing building and development plans, the County Zoning Administrator and the Building Inspector. As Woodford County is already understaffed, it is recommended that at least one additional staff member be added to facilitate development review, a Town Planner. The Town Planner should be an individual with a professional degree in architecture or urban design whose role is to assist individual homeowners, architects, designers and builders in designing buildings that meet the proposed Woodford Design Code. The Town Planner will review plans in the early stages and make suggestions to improve the design, as well as shepherd plans through the permitting process. The County should consider hiring this person whether or not this particular proposed Code is adopted.

2. Planning Commission

The Planning Commission is the major recommending body for development in the City of Versailles, City of Midway, and the County. In addition to their long-term planning activities, their role is to recommend policy for administering the Code, thereby making improvements to the system as occasions arise. They also have the responsibility to give final approval to development projects to ensure compliance with the Code.

3. Board of Adjustment

The Board of Adjustment will continue to administer the conditional use and variance processes, as stipulated by state law. This Board will need specific training to administer the new Code, and the Board and the three legislative bodies should consider further refinements to conditional uses before situations which compromise the Code arise.

4. Board of Architectural Review

This five-member Board has been established by the Versailles City Council, Midway City Council, and Woodford Fiscal Court with an assigned function and duty to "pass upon the appropriateness of exterior architectural features of buildings and structures and signs and other exterior features hereafter constructed, reconstructed, altered or restored in the Old and Historic District, wherever such exterior features are subject to public view from a public street or way" (Section 720.5 F of the Zoning Ordinance). We recommend that this Board be involved with the design process for downtown Versailles and Midway only to the degree that specific intervention to preserve historic features is needed.

REGIONAL COMMERCE DISTRICT

CHAPTER VIII
REGIONAL COMMERCE DISTRICT ADDENDUM



Conception sketch for the Versailles Center created during the *Design for Tomorrow* Citizens Workshop.
Drawing by Dover Kohl and Partners

This addendum provides for the exceptional circumstance of a Regional Commerce Center. This section lists the amendments to the REGULATING PLAN, BUILDING PLACEMENT STANDARDS, ARCHITECTURAL STANDARDS, and STREETScape STANDARDS specific to such a District. These amendments are primarily to the requirements of the REGULATING PLAN and BUILDING PLACEMENT STANDARDS.

REGIONAL COMMERCE DISTRICT

A. REGIONAL COMMERCE DISTRICT ADDENDUM

A REGIONAL COMMERCE DISTRICT may be created within the boundaries of a City, subject to the requirements of this Code, upon recommendation of the Planning Commission and Woodford County Planning Staff to the appropriate City Council. That finding shall be based on a need for commercial retail services within Woodford County that cannot reasonably be met via the expansion and or improvement of existing urban main streets using the *Shopfront* BUILDING PLACEMENT STANDARD.

Buildings within a REGIONAL COMMERCE DISTRICT shall be governed by the *Shopfront* BUILDING PLACEMENT STANDARD as modified in this addendum, as well as the REGULATING PLAN STANDARDS for site plans, and the ARCHITECTURAL STANDARDS (including the amendments for Commercial Streets), as modified below.

Amendments to the REGULATING PLAN *Siting* requirements:

1. Site Allocation, by *Building Placement Standard* type, as follows: maximum 60% *Shopfront* BUILDING PLACEMENT STANDARD type, maximum 25% *Workplace* BUILDING PLACEMENT STANDARD type, minimum 33% from among the residential BUILDING PLACEMENT STANDARD types (*Rowhouse, Townhouse, Small Apartment, Neighborhood House, Avenue House*). This allocation shall be measured as net lot (including all parking lot surface area – excluding on-street parallel parking area) for each approved Development Plan.
2. Not more than 50% of the allocation for Non-Residential BUILDING PLACEMENT STANDARDS Types shall be begun (building permits issued) until construction has begun on a minimum of four (4) residential models or units from the Residential BUILDING PLACEMENT STANDARD Types (*Rowhouse, Townhouse, Small Apartment, Neighborhood House, Avenue House*) (must be two (2) units facing two (2) units across a STREET).
3. Not more than 75% of the allocation for Non-Residential BUILDING PLACEMENT STANDARD Types shall be begun (building permits issued) until construction is completed on at least 50% of the required allocation for Residential BUILDING PLACEMENT STANDARD Types (*Rowhouse, Townhouse, Small Apartment, Neighborhood House, Avenue House*) and has begun on at least another 25% of the required allocation for Residential BUILDING PLACEMENT STANDARD Types within the Development Plan of a REGIONAL COMMERCE DISTRICT. Occupied upper storey apartments over *Shopfronts* may also be counted toward the residential allocation (can be counted once for the residential allocation and again for the *Shopfront* allocation). In meeting the percentage allocation, hotels may count up to 50% of the allocation for Residential BUILDING PLACEMENT STANDARD Types.
4. The maximum *average perimeter* of all BLOCKS within a REGIONAL COMMERCE DISTRICT shall not exceed 1800 feet.

REGIONAL COMMERCE DISTRICT

5. STREETS shall front the entire perimeter of the property. Excepting where:
 - a. Such siting will effectively complete a block by “backing” (facing the adjacent property with an ALLEY or the building rear) a similar BUILDING PLACEMENT STANDARD type that is itself backing the common property line,
 - b. Facing industrial and or warehouse uses, or
 - c. Where physical constraints (from existing development or environmental features) make is physically infeasible to construct such STREETS.
6. Parking provided shall not exceed the ratio of four per thousand for retail, three per thousand for office, and 1.5 per bedroom for residential. (These numbers can be taken as a sum threshold.) There are no minimum parking requirements.
7. Shared Parking: parking spaces within 800 feet of a building or user shall be included in any parking calculations.
8. Up to 20% of the Commercial parking area may be placed in a Parking Square configuration. That is: surrounded on 3 of 4 sides by Shopfront buildings, not greater in surface dimension than 200’ x 200’ and surrounded by Canopy Shade Trees as per the STREETScape STANDARDS. Excepting on STREET parallel spaces, all other parking shall located as per the BUILDING PLACEMENT STANDARD.
9. STREET TREE planting requirements may be waived for STREET FRONTAGES where roofed arcades or colonnades with permanent piers, posts, or columns sit no further than 24” off the curb-face (waived for that side of the STREET only).

Amendments to the *Shopfront* BUILDING PLACEMENT STANDARDS:

10. Height Requirements:
 - a. Ten (10) percent of the buildings within a Development Plan may have a minimum height to the eave of sixteen (16) feet, except for buildings located within the first twenty-five (25) feet from the corner of any block. Not more than half of these buildings (or five (5) percent) may be sited in any one block.
 - b. On existing structures, the minimum height requirements do not have to be met if the proposed improvements do not exceed 50% of the replacement cost of the building.
11. Siting Requirements:
 - a. The maximum building/lot frontage width and maximum building depth requirements are replaced by floor-plate limits.

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- b. The maximum building floor-plate is 30,000 SF. One floor-plate of up to 60,000 square feet, per 10 Acres (total submitted site), is possible provided that a minimum 33% of the STREET FRONTAGE for the *Shopfront* (commercial) buildings have upper floor residential along their length.
 - c. The upper floor space and shell shall be constructed so as to be structurally sound for the intended eventual second story use.
 - d. For each block, building(s) along the STREET FRONTAGE shall present a complete and discrete vertical façade composition (e.g. a new façade) at a maximum *mean average* STREET FRONTAGE length of 60 feet. This composition shall include a functioning, primary STREET entry. (This may be satisfied through the use of “liner” shops for large floor-plate buildings.)
12. Use Requirements:
- a. Up to 2/3rds of the STREET FRONTAGE may have buildings along it that do not satisfy the residential prescriptions for the upper storey. These buildings may be all commerce (all office and/or retail) and/or office above ground floor retail – subject to the other requirements of this section. (In practice, this *allows* for extensive retail street frontage (the *Shopfront* type) with 1 or 2 floors of office use above, a significant office building or light industrial presence (the *Workplace* type), all integrated with residential uses).